

ANDOVER TOWNSHIP COMMITTEE MEETING MINUTES

THOMAS D. WALSH, JR., MAYOR  
ELLSWORTH E. BENSLEY, JR., DEPUTY MAYOR  
JOHN CARAFELLO  
ERIC KARR  
JANIS MCGOVERN

SEPTEMBER 15, 2022

EXECUTIVE SESSION 5:30PM  
REGULAR MEETING 7:00PM

This is a hybrid meeting and is being offered in person or remotely by accessing either of the following options:

*Please click the link below to join the webinar:*

<https://us02web.zoom.us/j/83261041515?pwd=dktJOGJRMWc5MjUxcE9UWWxadlNRdz09>

Passcode: 100240

*Or by telephone:*

Dial US: +1 301 715 8592  
Webinar ID: 832 6104 1515  
Passcode: 100240

**ROLL CALL:** Present were Mr. Bensley, Mr. Carafello, Mr. Karr, Ms. McGovern and Mayor Walsh.

Also present was Fred Semrau, Township Attorney and Patricia Bussow, Administrator/Municipal Clerk

**OPEN PUBLIC MEETINGS STATEMENT:** This meeting is being held in compliance with the provisions of the Open Public Meetings Act, Public Laws of 1975, Chapter 231 and has been properly advertised and certified by the Municipal Clerk.

**EXECUTIVE SESSION:** At 5:30 Mr. Bensley moved to go into Executive Session with a second by Mr. Karr.

**RESOLUTION**  
**MOTION FOR EXECUTIVE SESSION**

BE IT RESOLVED by the Township Committee of the Township of Andover on the 15<sup>th</sup> day of SEPTEMBER 2022, that:

1. PRIOR to the commencement of the Regular Meeting, the Township Committee shall meet in Executive Session, from which the public shall be excluded, to discuss matters as permitted pursuant to N.J.S.A. 10:4-26, sub-section(s):

- ( ) a. Confidential or excluded matters, by Express provision of Federal law or State statute or rule of court.
- ( ) b. A matter in which the release of information would impair a right to receive funds from the Government of the United States.
- ( ) c. Material the disclosure of which constitutes an unwarranted invasion of individual privacy.
- (X) d. A collective bargaining agreement including negotiations.

- ( ) e. Purchase, lease or acquisition of real property, setting of banking rates or investment of public funds, where it could adversely affect the public interest if disclosed.
- ( ) f. Tactics and techniques utilized in protecting the safety and property of the public, if disclosure could impair such protection. Investigation of violations of the law.
- (X) g. Pending or anticipated litigation or contract negotiations other than in subsection b. (4) herein or matters falling within the attorney-client privilege.
- ( ) h. Personnel matters.
- ( ) i. Deliberations after a public hearing that may result in penalties.
  - 1. The time when the matter(s) discussed pursuant to Paragraph 1 hereof can be disclosed to the public is as soon as practicable after final resolution of the aforesaid matter(s).

**EXECUTIVE SESSION:**

- Woodland Behavioral and Nursing Center
- Cannabis Ordinance
- PACE Glass
- Master Plan
- DPW Contract Negotiations
- Municipal Court Judge Applicants

**APPROVAL OF THE GENERAL AGENDA**

Mr. Bensley moved to approve the General Agenda, with a second from Ms. McGovern. The motion carried with all in favor.

**APPROVAL OF CONSENT AGENDA**

Mr. Bensley moved to approve the Consent Agenda as amended, with a second from Mr. Karr. Roll call was taken for a 4-0-1 vote (Mr. Bensley, yes; Mr. Carafello, yes; Mr. Karr, Ms. McGovern, yes; Mayor Walsh, abstained). The motion carried.

**CONSENT AGENDA**

**OTHER BUSINESS:**

1. Approval of Vouchers for Payment
2. Tax Collector's Report for August 2022
3. CFO's Report for the Month of August 2022

**MINUTES:**

- September 1, 2022: Executive Session and Regular Meeting Minutes

**RESOLUTIONS:**

**#R2022-109**

**RESOLUTION OF THE TOWNSHIP OF ANDOVER, COUNTY OF SUSSEX AND STATE OF NEW JERSEY TO AUTHORIZE THE ANNUAL SICK LEAVE BUYBACK OPTION TO ROAD SUPERVISING LABORER ERIK MARRA FOR 2022**

**#R2022-110**

**RESOLUTION OF THE TOWNSHIP OF ANDOVER, COUNTY OF SUSSEX AND STATE OF NEW JERSEY TO AUTHORIZE THE ANNUAL SICK LEAVE BUYBACK OPTION TO SUPERVISOR OF PUBLIC WORKS DARREN DICKINSON FOR 2022**

**#R2022-111**

**RESOLUTION OF THE TOWNSHIP OF ANDOVER, COUNTY OF SUSSEX AND STATE OF NEW JERSEY TO AUTHORIZE THE ANNUAL SICK LEAVE BUYBACK OPTION TO PUBLIC WORKS REPAIRER MARK W. BIRD FOR 2022**

**#R2022-112**

**RESOLUTION OF THE TOWNSHIP OF ANDOVER, COUNTY OF SUSSEX AND STATE OF NEW JERSEY TO AUTHORIZE THE ANNUAL SICK LEAVE BUYBACK OPTION TO LIEUTENANT BRIAN KITHCART FOR 2022**

**#R2022-113**

**RESOLUTION OF THE TOWNSHIP OF ANDOVER, COUNTY OF SUSSEX AND STATE OF NEW JERSEY TO AUTHORIZE THE ANNUAL SICK LEAVE BUYBACK OPTION TO PATROLMAN GEORGE LAUDIS FOR 2022**

**#R2022-114**

**RESOLUTION OF THE TOWNSHIP OF ANDOVER, COUNTY OF SUSSEX AND STATE OF NEW JERSEY TO AUTHORIZE THE ANNUAL SICK LEAVE BUYBACK OPTION TO PATROLMAN RICHARD THEN FOR 2022**

**#R2022-115**

**RESOLUTION OF THE TOWNSHIP OF ANDOVER, COUNTY OF SUSSEX AND STATE OF NEW JERSEY TO AUTHORIZE THE ANNUAL SICK LEAVE BUYBACK OPTION TO SERGEANT ROBERT YOUNGS FOR 2022**

**#R2022-116**

**RESOLUTION OF THE TOWNSHIP OF ANDOVER, COUNTY OF SUSSEX AND STATE OF NEW JERSEY TO AUTHORIZE THE ANNUAL SICK LEAVE BUYBACK OPTION TO POLICE CHIEF ERIC DANIELSON FOR 2022**

**#R2022-117**

**RESOLUTION OF THE TOWNSHIP OF ANDOVER, COUNTY OF SUSSEX AND STATE OF NEW JERSEY TO AUTHORIZE THE ANNUAL SICK LEAVE BUYBACK OPTION TO POLICE DEPARTMENT SECRETARY JUDY MCSHERRY FOR 2022**

**#R2022-118**

**RESOLUTION OF THE TOWNSHIP OF ANDOVER, COUNTY OF SUSSEX AND STATE OF NEW JERSEY TO PREPARE CERTAIN SURPLUS MUNICIPAL EQUIPMENT AND VEHICLES THAT ARE CONSIDERED UNREASONABLY EXPENSIVE TO REPAIR FOR SALE ONLINE AT MUNICIPAL AUCTION THROUGH MUNCIBID IN ACCORDANCE WITH THE CONDITIONS OF THE STATE CONTRACT**

**NEW BUSINESS:**

Mayor Walsh introduced Ordinance #2022-18 and read it by title into the record:

**AN ORDINANCE ADOPTING AN AMENDMENT TO CHAPTER 190 ATTACHMENT A, THE ROUTE 206 REDEVELOPMENT PLAN , OF THE ZONING CODE OF THE TOWNSHIP OF ANDOVER TO PERMIT CLASS 5 CANNABIS RETAILER LICENSES AS A PERMITTED USE IN THE ROUTE 206 REDEVELOPMENT ZONE, FROM STICKLES POND ROAD TO THE ANDOVER BOROUGH BORDER**

A motion to approve Ordinance #2022-18 by Title on First Reading was made by Mrs. McGovern with a second by Mr. Karr. The motion carried by unanimous roll call vote.

Attorney Rossmeyssl introduced a resolution and read it by title into the record:

**RESOLUTION #R2022-119**

**A RESOLUTION OF THE TOWNSHIP OF ANDOVER, COUNTY OF SUSSEX, STATE OF NEW JERSEY AUTHORIZING THE ANDOVER TOWNSHIP PLANNING BOARD TO UNDERTAKE A PRELIMINARY INVESTIGATION TO DETERMINE WHETHER THE PROPOSED STUDY AREA WHICH INCLUDES THE PROPERTY IDENTIFIED AS BLOCK 108, LOT 1.05, ON THE TOWNSHIP TAX MAP QUALIFIES AS AN AREA OF REDEVELOPMENT PURSUANT TO N.J.S.A. 40A:12A, WITH CONDEMNATION.**

A motion to approve Resolution #R2022-119 was made by Mr. Karr with a second by Mr. Bensley. The motion carried by unanimous roll call vote.

**UNFINISHED BUSINESS:**

- **Recommendation of Award of Contract by the Andover Township Land Use Board for the purpose of preparing the Township Master Plan**

A motion was made by Mr. Bensley to award a Professional Services Contract for the purpose of preparing the Township Master Plan to Harold Pellow and Associates, with a second by Ms. McGovern. The motion carried by unanimous roll call vote.

**PUBLIC PORTION**

**Resident Eileen Arvary** presented photographs to the members of the Committee of the roads in Drake Manor. She explained that they are in need of paving.

Mr. Karr commented that the paving of the roads in this area was pushed back to due the installation of natural gas.

DPW Assistant Supervisor Erik Marra commented that according to the proposed plan currently in place, those roads are to be paved in 2 years.

**Resident Mary Fox** also expressed her concerns regarding the condition of the roads.

**Resident Joe Ordile** questioned when details will be available for the Ordinance that was introduced.

The Administrator informed him that the public hearing will be at a meeting in October, pending the Land Use Board review and recommendation.

Mr. Ordile questioned what the physical address of the property mentioned in the resolution Attorney Rossmeissl read into the record.

Attorney Rossmeissl provided the address of 9 Mulford Road.

Mr. Ordile asked if the motion regarding the Master Plan could be read again.

Mr. Karr provided a summary and his thoughts on the Master Plan.

Mr. Ordile suggested that the Township look at their ordinances regarding warehouses as they have not been updated in many years.

The Committee took his suggestion into consideration, and reiterated that zoning ordinance updates will be part of the Master Plan re-examination.

**Resident Diane Gillespie** mentioned the security ordinance introduced at the last meeting and questioned why it was not on tonight's agenda.

The Administrator explained that due to the recent holiday, we were not able to meet the advertising requirements, therefore it will be on the October 6, 2022 agenda.

Ms. Gillespie questioned if the town has researched how many other municipalities have the buzz in security system, if other municipalities have the system what caused them to install it and are these towns located in northwest NJ. She also questioned what the specific instance was that occurred at our building causing the need for security.

The Administrator explained that those questions would be answered, if possible, at the next meeting during the public hearing.

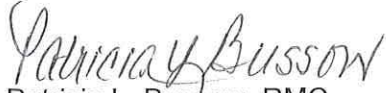
**NEXT SCHEDULED MEETINGS:**

**OCTOBER 6, 2022 – 6:00PM EXECUTIVE SESSION/7:00PM REGULAR MEETING  
OCTOBER 20, 2022 – 6:00PM EXECUTIVE SESSION/7:00PM REGULAR MEETING**

**ADJOURN**

A motion was made by Mr. Bensley to adjourn, with a second by Ms. McGovern. The motion carried with all in favor.

Submitted:



Patricia L. Bussow, RMC  
Administrator/Municipal Clerk

List of Bills - (1910101000001) CASH - FIRST HOPE DEV ESCROW  
 DEVELOPERS ESCROW FUND

Meeting Date: 09/15/2022 For bills from 09/02/2022 to 09/13/2022

Check#	Vendor	Description	Account	PO Payment	Check Total
177	990 - DORSEY & SEMRAU	PO 14117 JULY 2022 PROFESSIONAL SERVICES		495.00	
	19-260-57-100-000	DEVELOPERS AGREEMENTS - OVER \$5,000	495.00		
		PO 14138 AUGUST 2022 PROFESSIONAL SERVICES		412.50	
	19-260-57-100-000	DEVELOPERS AGREEMENTS - OVER \$5,000	412.50		907.50
TOTAL					907.50
Total to be paid from Fund 19 DEVELOPERS ESCROW FUND		907.50			
		=====			
		907.50			

## List of Bills - Clearing Cash

Meeting Date: 09/15/2022 For bills from 09/02/2022 to 09/13/2022

Check#	Vendor	Description	Account	PO Payment	Check Total
10171	1347 - ADVANCE AUTO PARTS				
		PO 13259 2022 DPW PARTS		87.86	
	01-201-26-290-020 PUBLIC WORKS OTHER EXPENSE		87.86		87.86
10172	67 - AIRGAS USA, LLC				
		PO 13195 2022 DPW TANK RENTAL		19.80	
	01-201-26-290-020 PUBLIC WORKS OTHER EXPENSE		19.80		19.80
10173	2468 - ALLIED OIL				
		PO 14134 08/27/22 GASOLINE DELIVERY - 434.00 GALL		1,343.01	
	01-201-31-460-020 UTILITY OTHER EXPENSE		1,343.01		
		PO 14147 08/30/22 DIESEL DELIVERY - 210.60 GALLON		870.68	
	01-201-31-460-020 UTILITY OTHER EXPENSE		870.68		2,213.69
10174	99 - ANDOVER TOWNSHIP VOL FIRE DEPT				
		PO 13574 2022 BUDGET APPROPRIATION		16,250.00	
	01-201-25-000 EXPENDITURE CAFR TOTAL		16,250.00		16,250.00
10175	2318 - ANN DENNISON				
		PO 13399 2022 MEDICARE REIMBURSEMENT		1,279.80	
	01-201-23-220-020 GROUP INSURANCE OTHER EXPENSE		1,279.80		1,279.80
10176	2841 - BETHANIA PERALTA				
		PO 14157 RELEASE OF REFUNDABLE SECURITY DEPOSIT		300.00	
	13-260-58-200-000 RECREATION TRUST		300.00		300.00
10177	1617 - BLUE DIAMOND DISPOSAL, INC.				
		PO 13186 2022 SOLID WASTE SERVICES		58,500.00	
	01-201-26-305-020 GARBAGE REMOVAL OTHER EXPENSE		58,500.00		58,500.00
10178	2839 - CASEY SMITH				
		PO 14103 RELEASE OF REFUNDABLE SECURITY DEPOSIT		300.00	



List of Bills - Clearing Cash

Meeting Date: 09/15/2022 For bills from 09/02/2022 to 09/13/2022

Check#	Vendor	Description	Account	PO Payment	Check Total
13-260-58-200-000	RECREATION TRUST		300.00		300.00
10179	1498 - CENTURY LINK (1) COMMUNICATIONS				
		PO 14096 AUGUST 2022 PRIMARY PHONE SERVICE		791.96	
01-201-31-460-020	UTILITY OTHER EXPENSE		791.96		791.96
10180	2174 - CINTAS CORPORATION				
		PO 13203 2022 MEDICAL CABINET SUPPLIES		219.47	
01-201-26-310-020	BUILDINGS & GROUNDS OTHER EXPENSE		219.47		219.47
10181	1619 - CLEARY,GIACOBBE,ALFIERI				
		PO 14120 JULY 2022 LEGAL SERVICES - LABOR ATTORNE		64.00	
01-201-20-155-020	LEGAL OTHER EXPENSE		64.00		64.00
10182	2838 - DANIELLE MURRIN				
		PO 14092 RELEASE OF REFUNDABLE SECURITY DEPOSIT		300.00	
13-260-58-200-000	RECREATION TRUST		300.00		300.00
10183	189 - DEMPSEY, INC.				
		PO 13220 2022 DPW UNIFORM CLEANING		825.29	
01-201-26-290-020	PUBLIC WORKS OTHER EXPENSE		825.29		825.29
10184	990 - DORSEY & SEMRAU				
		PO 14118 JULY 2022 PROFESSIONAL SERVICES		462.00	
13-286-56-700-000	VARIOUS ESCROWS		462.00		
		PO 14119 JULY 2022 PROFESSIONAL SERVICES		6,478.00	
01-201-20-155-020	LEGAL OTHER EXPENSE		6,478.00		
		PO 14136 AUGUST 2022 PROFESSIONAL SERVICES		6,237.00	
01-201-20-155-020	LEGAL OTHER EXPENSE		6,237.00		
		PO 14137 AUGUST 2022 PROFESSIONAL SERVICES		313.50	
13-286-56-700-000	VARIOUS ESCROWS		313.50		13,490.50
10185	202 - DOVER BRAKE & CLUTCH CO., INC.				

List of Bills - Clearing Cash

Meeting Date: 09/15/2022 For bills from 09/02/2022 to 09/13/2022

Check#	Vendor	Description	Account	PO Payment	Check Total
		PO 13255 2022 DPW PARTS		836.20	
	01-201-26-290-020 PUBLIC WORKS OTHER EXPENSE		836.20		836.20
10186	213 - ELIZABETHTOWN GAS				
		PO 14151 AUGUST 2022 HEATING GAS		31.12	
	01-201-31-460-020 UTILITY OTHER EXPENSE		31.12		31.12
10187	1130 - FAMILY FORD, INC.				
		PO 13257 2022 DPW PARTS		47.58	
	01-201-26-290-020 PUBLIC WORKS OTHER EXPENSE		47.58		47.58
10188	500 - GEORGE R. SMITH				
		PO 13398 2022 MEDICARE REIMBURSEMENT		1,020.60	
	01-201-23-220-020 GROUP INSURANCE OTHER EXPENSE		1,020.60		1,020.60
10189	245 - HAROLD E. PELLOW & ASSOC.INC.				
		PO 14104 JUNE 2022 ENGINEERING SERVICES		135.00	
	13-286-56-700-000 VARIOUS ESCROWS		135.00		
		PO 14105 JUNE 2022 ENGINEERING SERVICES		67.50	
	13-286-56-700-000 VARIOUS ESCROWS		67.50		
		PO 14107 JUNE 2022 ENGINEERING SERVICES		1,232.98	
	01-201-44-000 EXPENDITURE CAFR TOTAL		1,232.98		
		PO 14108 JUNE 2022 ENGINEERING SERVICES		130.73	
	13-260-56-900-000 SOIL EROSION - SEDIMENT CONTROL		130.73		
		PO 14109 JUNE 2022 ENGINEERING SERVICES		261.25	
	13-260-56-400-000 STREET OPENING PERMITS		261.25		
		PO 14110 JUNE 2022 ENGINEERING SERVICES		261.25	
	13-260-56-400-000 STREET OPENING PERMITS		261.25		
		PO 14111 JUNE 2022 ENGINEERING SERVICES		35.00	
	01-201-44-000 EXPENDITURE CAFR TOTAL		35.00		
		PO 14112 JUNE 2022 ENGINEERING SERVICES		1,637.25	
	02-213-40-000-000 APPROPRIATED RESERVES		1,637.25		3,760.96
10190	245 - HAROLD E. PELLOW & ASSOC.INC.				
		PO 14113 JUNE 2022 ENGINEERING SERVICES		4,893.25	

List of Bills - Clearing Cash

Meeting Date: 09/15/2022 For bills from 09/02/2022 to 09/13/2022

Check#	Vendor	Description	Account	PO Payment	Check Total
01-201-21-186-020	ZONING OFFICER OTHER EXPENSE		4,893.25		
		PO 14114 JUNE 2022 ENGINEERING SERVICES		67.50	
01-201-20-165-020	ENGINEERING OTHER EXPENSE		67.50		
		PO 14115 JUNE 2022 ENGINEERING SERVICES		101.25	
02-213-40-000-000	APPROPRIATED RESERVES		101.25		
		PO 14116 JUNE 2022 ENGINEERING SERVICES		17.50	
04-226-55-000-000	IMP AUTHORIZATIONS - FUNDED		17.50		
		PO 14135 APRIL 2022 ENGINEERING SERVICES		104.50	
13-260-56-400-000	STREET OPENING PERMITS		104.50		
		PO 14139 JULY 2022 ENGINEERING SERVICES		130.73	
13-260-56-900-000	SOIL EROSION - SEDIMENT CONTROL		130.73		
		PO 14140 JULY 2022 PROFESSIONAL SERVICES		35.00	
01-201-44-000	EXPENDITURE CAFR TOTAL		35.00		
		PO 14141 JULY 2022 PROFESSIONAL SERVICES		140.00	
04-226-55-000-000	IMP AUTHORIZATIONS - FUNDED		140.00		5,489.73
10191	245 - HAROLD E. PELLOW & ASSOC.INC.				
		PO 14142 JULY 2022 PROFESSIONAL SERVICES		104.51	
13-260-56-400-000	STREET OPENING PERMITS		104.51		
		PO 14143 JULY 2022 PROFESSIONAL SERVICES		87.15	
01-201-20-165-020	ENGINEERING OTHER EXPENSE		87.15		
		PO 14144 JULY 2022 PROFESSIONAL SERVICES		3,446.72	
01-201-21-186-020	ZONING OFFICER OTHER EXPENSE		3,446.72		
		PO 14145 JULY 2022 PROFESSIONAL SERVICES		340.00	
02-213-40-000-000	APPROPRIATED RESERVES		340.00		
		PO 14146 JULY 2022 PROFESSIONAL SERVICES		162.50	
01-201-44-000	EXPENDITURE CAFR TOTAL		162.50		4,140.88
10192	693 - HOME DEPOT CREDIT SERVICES				
		PO 13251 2022 BUILDING & GROUNDS SUPPLIES		95.51	
01-201-26-310-020	BUILDINGS & GROUNDS OTHER EXPENSE		95.51		95.51
10193	288 - JCP&L				
		PO 14128 AUGUST 2022 MESSAGE SIGN		20.75	
01-201-31-460-020	UTILITY OTHER EXPENSE		20.75		20.75

## List of Bills - Clearing Cash

Meeting Date: 09/15/2022 For bills from 09/02/2022 to 09/13/2022

Check#	Vendor	Description	Account	PO Payment	Check Total
10194	294 - JOYCE COVALENCE				
		PO 13181 2022 MEDICARE REIMBURSEMENT		340.20	
	01-201-23-220-020 GROUP INSURANCE OTHER EXPENSE		340.20		340.20
10195	2665 - KAREN STEVENS				
		PO 13397 2022 INSURANCE REIMBURSEMENT		510.30	
	01-201-23-220-020 GROUP INSURANCE OTHER EXPENSE		510.30		510.30
10196	1188 - KOCH AUTO PARTS, INC.				
		PO 13256 2022 DPW PARTS		226.11	
	01-201-26-290-020 PUBLIC WORKS OTHER EXPENSE		226.11		226.11
10197	2213 - LOEFFEL'S WASTE OIL SVS., LLC				
		PO 14101 08/31/22 WASTE OIL REMOVAL		183.00	
	02-213-40-000-000 APPROPRIATED RESERVES		183.00		183.00
10198	229 - MARYANN FRODELLA				
		PO 13396 2022 MEDICARE REIMBURSEMENT		510.30	
	01-201-23-220-020 GROUP INSURANCE OTHER EXPENSE		510.30		510.30
10199	2037 - MATTHEW PUCCIO				
		PO 14102 2022 VISION REIMBURSEMENT		200.00	
	01-201-23-220-020 GROUP INSURANCE OTHER EXPENSE		200.00		200.00
10200	2531 - MR. JOHN				
		PO 13593 2022 PORTABLE RESTROOMS - 04/01/22 - 10/		71.49	
	01-201-28-375-020 PARK MAINT OTHER EXPENSE		71.49		71.49
10201	379 - NEWTON WATER & SEWER UTILITY				
		PO 14098 MAY 2022 - JULY 2022 WATER BILLING		1,187.34	
	01-201-31-460-020 UTILITY OTHER EXPENSE		1,187.34		1,187.34

List of Bills - .Clearing Cash

Meeting Date: 09/15/2022 For bills from 09/02/2022 to 09/13/2022

Check#	Vendor	Description	Account	PO Payment	Check Total
10202	392 - NJ STATE DEPT OF HEALTH/SR SVS	PO 14123 AUGUST 2022 DOG LICENSES		9.00	
	12-290-56-000-000	DUE TO THE STATE - DOG LICENSE FEES	9.00		9.00
10203	387 - NJS LEAGUE OF MUNICIPALITIES	PO 14031 CLASSIFIED AD FOR MUNICIPAL COURT JUDGE		165.00	
	01-201-43-490-020	MUNICIPAL COURT OTHER EXPENSE	165.00		165.00
10204	2837 - NMC FOUNDATION	PO 14089 AED		375.00	
	02-213-40-000-000	APPROPRIATED RESERVES	375.00		
	01-201-25-252-020	EMERGENCY MGMT OTHER EXPENSE	375.00		750.00
10205	1230 - NORTH JERSEY MUNICIPAL,EMPLOYEE	PO 13198 2022 DENTAL INSURANCE PREMIUMS		2,967.00	
	01-201-23-220-020	GROUP INSURANCE OTHER EXPENSE	2,967.00		2,967.00
10206	2389 - OCA BENEFIT SERVICES	PO 13331 2022 FLEXIBLE SPENDING		50.00	
	01-201-23-220-020	GROUP INSURANCE OTHER EXPENSE	50.00		50.00
10207	2664 - OPTIMUM	PO 13171 2022 BLANKET - INTERNET SERVICE		79.80	
	01-201-31-460-020	UTILITY OTHER EXPENSE	79.80		79.80
10208	2836 - PARSELLS PRINTING AND DESIGN	PO 14078 Updated NJ bail recognizance forms		278.00	
	01-201-43-490-020	MUNICIPAL COURT OTHER EXPENSE	278.00		278.00
10209	1686 - R & L DATA CENTERS, INC.	PO 13317 2022 PAYROLL PROCESSING FEES		631.20	
	01-201-20-140-020	INFORMATION TECHNOLOGY - OTHER EXPENSE	631.20		631.20

## List of Bills - Clearing Cash

Meeting Date: 09/15/2022 For bills from 09/02/2022 to 09/13/2022

Check#	Vendor	Description	Account	PO Payment	Check Total
10210	2583 - SAMS HOPE INC.				
		PO 14158 RELEASE OF REFUNDABLE SECURITY DEPOSIT		300.00	
	13-260-58-200-000 RECREATION TRUST		300.00		300.00
10211	2326 - SERPICO PYROTECHNICS, LLC				
		PO 14099 ANDOVER DAY FIREWORKS		6,000.00	
	01-203-28-370-020 (2021) RECREATION OTHER EXPENSE		3,140.80		
	01-201-28-370-020 RECREATION OTHER EXPENSE		2,859.20		6,000.00
10212	516 - STAPLES				
		PO 14043 VARIOUS OFFICE SUPPLIES		211.05	
	01-201-26-310-020 BUILDINGS & GROUNDS OTHER EXPENSE		53.69		
	01-201-20-130-020 FINANCE - OTHER EXPENSE		60.31		
	01-201-20-120-020 CLERK - OTHER EXPENSE		82.85		
	01-201-20-100-020 ADMINISTRATION - OTHER EXPENSE		14.20		
		PO 14094 VARIOUS OFFICE SUPPLIES		104.47	
	01-201-26-310-020 BUILDINGS & GROUNDS OTHER EXPENSE		27.11		
	01-201-20-100-020 ADMINISTRATION - OTHER EXPENSE		77.36		315.52
10213	528 - STEPHEN MURRELL				
		PO 13182 2022 INSURANCE REIMBURSEMENT		1,545.18	
	01-201-23-220-020 GROUP INSURANCE OTHER EXPENSE		1,545.18		1,545.18
10214	2840 - STRAUS NEWSPAPERS, INC.				
		PO 14126 GARAGE SALE AD		107.00	
	01-201-20-120-020 CLERK - OTHER EXPENSE		107.00		107.00
10215	2574 - SUSSEX CLEANERS, INC.				
		PO 13319 2022 POLICE UNIFORM CLEANING		82.00	
	01-201-25-240-020 POLICE OTHER EXPENSE		82.00		82.00
10216	1759 - SUSSEX COUNTY CHAMBER OF COMMERCE				

List of Bills - Clearing Cash

Meeting Date: 09/15/2022 For bills from 09/02/2022 to 09/13/2022

Check#	Vendor	Description	Account	PO Payment	Check Total
		PO 14026 2022 MEMBERSHIP RENEWAL FEE		342.00	
	01-201-20-100-020	ADMINISTRATION - OTHER EXPENSE	342.00		342.00
10217	562 - TIMMERMAN EQUIPMENT INC.				
		PO 14155 BROOMS FOR PELICAN SWEEPER		968.88	
	02-213-40-000-000	APPROPRIATED RESERVES	968.88		968.88
10218	564 - TOMAR INDUSTRIES, INC.				
		PO 14075 KRUGER PAPER TOWELS		169.00	
	01-201-26-310-020	BUILDINGS & GROUNDS OTHER EXPENSE	169.00		169.00
10219	1628 - TOWNSHIP OF LAFAYETTE				
		PO 13727 2022 LAND USE SHARED SERVICE		7,242.74	
	01-201-21-180-020	PLANNING BOARD OTHER EXPENSE	7,242.74		7,242.74
10220	509 - TOWNSHIP OF SPARTA				
		PO 13475 2022 ANIMAL CONTROL OFFICER		1,100.00	
	01-201-27-340-020	ANIMAL CONTROL OTHER EXPENSE	1,100.00		1,100.00
10221	586 - VERIZON WIRELESS				
		PO 14095 AUGUST 2022 MOBILE PHONE SERVICE		886.93	
	01-201-25-240-020	POLICE OTHER EXPENSE	634.35		
	01-201-31-460-020	UTILITY OTHER EXPENSE	146.27		
	01-201-25-000	EXPENDITURE CAFR TOTAL	38.01		
	01-201-42-490-020	SHARED SERVICE - JOINT COURT O/E	2.57		
	01-201-43-490-020	MUNICIPAL COURT OTHER EXPENSE	65.73		886.93
10222	1235 - WEATHER WORKS CONSULTING, LLC				
		PO 13201 2022 WEATHER CONSULTATION SERVICES		422.50	
	01-201-26-290-020	PUBLIC WORKS OTHER EXPENSE	422.50		422.50
TOTAL					137,726.19

### List of Bills - Clearing Cash

Meeting Date: 09/15/2022 For bills from 09/02/2022 to 09/13/2022

Check#	Vendor	Description	Account	PO Payment	Check Total
		Total to be paid from Fund 01 CURRENT FUND			130,783.34
		Total to be paid from Fund 02 FEDERAL & STATE GRANT FUND			3,605.38
		Total to be paid from Fund 04 CAPITAL			157.50
		Total to be paid from Fund 12 DOG TRUST			9.00
		Total to be paid from Fund 13 OTHER TRUST			3,170.97
					-----
					137,726.19



ANDOVER TOWNSHIP

TAX DEPARTMENT

INTER-OFFICE MEMORANDUM

---

DATE: September 1, 2022  
TO: Mayor, Committee & Administrator  
FROM: Daryn Cashin, Tax Collector  
SUBJECT: Monthly Report for August

---

August tax collections: \$4,613,310.03 (see attached)

Below is a comparative chart of collections in the tax office, from 2021 to 2022.

	<u>2021</u>	<u>2022</u>
January	\$ 1,317,172.63	\$ 1,721,169.50
February	4,693,932.33	4,299,936.27
March	197,207.66	180,650.09
April	1,155,877.01	1,342,064.92
May	4,533,798.14	4,450,872.58
June	255,699.82	113,212.41
July	698,415.86	1,584,336.98
August	5,721,739.87	4,613,310.03.
<i>Year to date</i>	<i>\$18,573,843.32</i>	<i>\$13,305,552.78</i>

---

Delinquent 2021	\$ 93,016.29 (11 accounts, tax sale will be held October 18th)
Delinquent 2022	\$ 676,535.73 (131 accounts)
<i>Total delinquent</i>	<i>\$ 769,552.02</i>

---

Forest Lakes Dam Assessment (year 7 of 10)

May	\$ 3,664.00
June	3,838.00
July	702.66
<i>Year to date</i>	<i>\$ 8,204.66</i>

(All Forest Dam Assessments paid for 2022)

Lake Lenape Dam Assessment (year 4 of 10)

January	\$ 5,671.64
February	340.00
March	22,371.90
April	340.00
May	19,939.32
June	15,175.50
July	1,038.39
August	21,135.35
<i>Year to date</i>	<i>\$ 86,012.10</i>



Range: Block: First to Last  
 Lot:  
 Qual:  
 Range of Codes: First to Last  
 Range of Batch Ids: First to Last  
 Range of Spec Tax Codes: First to Last  
 Payment Type Includes: Tax: Y Sp Charges: Y Lien: Y Sp Assmnt: N  
 Misc: Y  
 Payment Method Includes: Cash: Y Check: Y Credit: Y Voucher: N  
 Range of Installment Due Dates: First to Last  
 Print Only Miscellaneous w/Block/Lot/Qual: N  
 Range of Years: First to 2023  
 Range of Dates: 08/01/22 to 08/31/22  
 Print Ref Num: N  
 Sort Miscellaneous Payments by Block/Lot/Qual: N

Code Description	Count	Arrears/Other	Principal			Interest	Total
			2021	2022	2023		
001 TAX PAYMENT	2158	0.00	12,927.68	4,540,053.03	45,824.44	7,191.37	4,605,996.52
026 TAX SUB PAYMENTS	8	0.00	0.00	11,754.20	0.00	101.44	11,855.64
Tax Payments	2166	0.00	12,927.68	4,551,807.23	45,824.44	7,292.81	4,617,852.16
002 TAX SRCH/STATUS/RED	2	20.00	0.00	0.00	0.00	0.00	20.00
009 RETURNED CK FEE	1	20.00	0.00	0.00	0.00	0.00	20.00
021 TAX SALE AD/MAIL FE	2	30.00	0.00	0.00	0.00	0.00	30.00
Misc Payments	5	70.00	0.00	0.00	0.00	0.00	70.00
017 RETURN CK	3	0.00	0.00	1,887.14-	2,724.99-	0.00	4,612.13-
Tax NSF	3	0.00	0.00	1,887.14-	2,724.99-	0.00	4,612.13-
<b>Payments Total:</b>	2171	70.00	12,927.68	4,551,807.23	45,824.44	7,292.81	4,617,922.16
Cash O/S Total:	0	0.00	0.00	0.00	0.00	0.00	0.00
NSF Reversals Total:	3	0.00	0.00	1,887.14-	2,724.99-	0.00	4,612.13-
<b>Total:</b>	2174	70.00	12,927.68	4,549,920.09	43,099.45	7,292.81	4,613,310.03

Total Cash: 26,068.73  
 Total Check: 4,582,894.27  
 Total Credit: 4,347.03

*Tot*

Range: Block: First to Last  
 Lot:  
 Qual:  
 Range of Codes: 400 to 401  
 Range of Years: First to 2023  
 Range of Periods: 1 to 12  
 Range of Batch Ids: First to Last  
 Range of Dates: 08/01/22 to 08/31/22  
 Range of Spec Tax Codes: First to Last  
 Print Ref Num: N  
 Payment Type Includes: Tax: N Sp Charges: N Lien: N Sp Assmnt: Y  
 Misc: N  
 Payment Method Includes: Cash: Y Check: Y Credit: Y Voucher: N  
 Range of Installment Due Dates: First to Last  
 Print Only Miscellaneous w/Block/Lot/Qual: N  
 Sort Miscellaneous Payments by Block/Lot/Qual: N

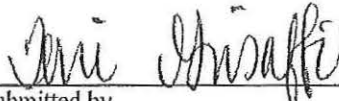
Code Description	Count	Arrears/Other	Principal			Interest	Total
			2021	2022	2023		
400 LAKE LENAPE DAM	32	21,030.51	0.00	0.00	0.00	104.84	21,135.35
Sp Assmnt Payments	32	21,030.51	0.00	0.00	0.00	104.84	21,135.35
Payments Total:	32	21,030.51	0.00	0.00	0.00	104.84	21,135.35
Cash O/S Total:	0	0.00	0.00	0.00	0.00	0.00	0.00
NSF Reversals Total:	0	0.00	0.00	0.00	0.00	0.00	0.00
Total:	32	21,030.51	0.00	0.00	0.00	104.84	21,135.35

Total Cash: 1,635.65  
 Total Check: 19,499.70  
 Total Credit: 0.00

*LenaPE*

ANDOVER TOWNSHIP - CFO'S REPORT  
For the Month Ended August 2022

	Beginning Balance	Receipts	Disbursements	Ending Balance
Forest Lakes Assessment Trust	\$ 33,568.23	\$ 35.64	\$ -	\$ 33,603.87
Lake Lenape Assessment Trust	\$ 496,518.04	\$ 21,674.10	\$ -	\$ 518,192.14
Capital Fund	\$ 1,328,842.46	\$ 205,574.21	\$ 21,750.78	\$ 1,512,665.89
Capital Fund - Investment	\$ 182,067.06	\$ 193.29	\$ -	\$ 182,260.35
Current Fund	\$ 4,245,215.06	\$ 5,087,740.31	\$ 3,450,594.81	\$ 5,882,360.56
Current Fund - Investment	\$ 129,337.35	\$ 137.31	\$ -	\$ 129,474.66
COAH Trust Fund	\$ 42,018.91	\$ 44.61	\$ -	\$ 42,063.52
Dog Trust Fund	\$ 3,173.46	\$ 185.96	\$ 1,125.20	\$ 2,234.22
Escrow Trust Fund	\$ 702,381.27	\$ 13,304.95	\$ 17,996.87	\$ 697,689.35
Developers Escrow Accounts	\$ 88,821.37	\$ 9,003.84	\$ 524.00	\$ 97,301.21
Open Space Trust Fund	\$ 134,089.33	\$ 140.73	\$ 3,027.21	\$ 131,202.85
Agency Payroll Account	\$ 49,168.80	\$ 140,688.52	\$ 149,695.84	\$ 40,161.48
Net Payroll Account	\$ 1.75	\$ 181,173.48	\$ 181,172.82	\$ 2.41
Sustainable Andover	\$ 1,381.96	\$ -	\$ -	\$ 1,381.96
SUI Trust Account	\$ 71,640.45	\$ 5,278.73	\$ -	\$ 76,919.18
<b>Totals</b>	<b>\$ 7,508,225.50</b>	<b>\$ 5,665,175.68</b>	<b>\$ 3,825,887.53</b>	<b>\$ 9,347,513.65</b>

  
Submitted by

September 13, 2022  
Date

TOWNSHIP OF ANDOVER  
COUNTY OF SUSSEX, STATE OF NEW JERSEY

RESOLUTION #R2022-109

RESOLUTION OF THE TOWNSHIP OF ANDOVER, COUNTY OF SUSSEX AND STATE OF  
NEW JERSEY TO AUTHORIZE THE ANNUAL SICK LEAVE BUYBACK OPTION TO  
ROAD SUPERVISING LABORER ERIK MARRA FOR 2022

*WHEREAS*, as a contract proposal to the Township of Andover from Local 81427 IUE-CWA, Proposal #6 states "any Road Department employee that has accrued a minimum of seventy-five (75) sick days may sell back any balance above seventy-five (75) days, not to exceed \$5000 per year. Request for buyback must be submitted by September 1<sup>st</sup> of that year. Payment will be made in the first regular pay of November. The rate of pay will be seventy-five percent (75% per day).

*WHEREAS*, in his memo dated September 1, 2022, Public Works Road Supervising Laborer Erik Marra notified the Clerk/Administrator requesting 129.50 hours of sick leave be used for the annual buyback, the dollar amount totaling \$3,735.58; and

*WHEREAS*, in accordance with the contract, this request leaves Erik Marra with a sick leave balance of 600 hours; and,

*WHEREAS*, Public Works Assistant Supervisor Erik Marra is not exempt from the sick leave buy back pursuant to N.J.S.A. 11A:6-19.2 as he was hired prior to May 21, 2010; and

***NOW, THEREFORE, BE IT RESOLVED***, by the Township Committee of the Township of Andover, County of Sussex and State of New Jersey to authorize the Sick Leave Annual Buyback option to Public Works Road Supervising Laborer Erik Marra as so requested for a total 129.50 hours totaling \$3,735.58 payable on the first regular payday of November; and,

***BE IT FURTHER RESOLVED***, that certified copies of this Resolution be forwarded to Public Works Road Supervising Laborer Erik Marra and the Finance Department for their records.

CERTIFICATION

I, Patricia L. Bussow, Municipal Clerk of the Township of Andover, in the County of Sussex in the State of New Jersey, do hereby certify that the foregoing Resolution is a true copy of the Original Resolution duly passed and adopted by a majority of the full membership of the Andover Township Committee at its meeting on September 15, 2022.



Patricia L. Bussow, RMC  
Municipal Clerk/Administrator

TOWNSHIP OF ANDOVER  
COUNTY OF SUSSEX, STATE OF NEW JERSEY

RESOLUTION #R2022-110

RESOLUTION OF THE TOWNSHIP OF ANDOVER, COUNTY OF SUSSEX AND STATE OF  
NEW JERSEY TO AUTHORIZE THE ANNUAL SICK LEAVE BUYBACK OPTION TO  
SUPERVISOR OF PUBLIC WORKS DARREN DICKINSON FOR 2022

*WHEREAS, as a contract proposal to the Township of Andover from Local 81427 IUE-CWA, Proposal #6 states "any Road Department employee that has accrued a minimum of seventy-five (75) sick days may sell back any balance above seventy-five (75) days, not to exceed \$5000 per year. Request for buyback must be submitted by September 1<sup>st</sup> of that year. Payment will be made in the first regular pay of November. The rate of pay will be seventy-five percent (75% per day).*

*WHEREAS, in his memo dated September 1, 2022, Supervisor of Public Works Darren Dickinson notified the Clerk/Administrator requesting 92 hours of sick leave be used for the annual buyback, the dollar amount totaling \$3,747.53; and*

*WHEREAS, in accordance with the ordinance, this request leaves Mr. Dickinson with a sick leave balance of 600 hours; and,*

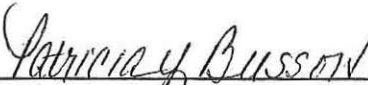
*WHEREAS, Supervisor of Public Works Darren Dickinson is not exempt from the sick leave buy back pursuant to N.J.S.A. 11A:6-19.2 as he was hired prior to May 21, 2010; and*

*NOW, THEREFORE, BE IT RESOLVED, by the Township Committee of the Township of Andover, County of Sussex and State of New Jersey to authorize the Sick Leave Annual Buyback option to Supervisor of Public Works Darren Dickinson as so requested for a total of 92 hours totaling \$3,747.53, payable on the first regular payday of November; and,*

*BE IT FURTHER RESOLVED, that certified copies of this Resolution be forwarded to Supervisor of Public Works Dickinson and the Finance Department for their records.*

CERTIFICATION

I, Patricia L. Bussow, Municipal Clerk of the Township of Andover, in the County of Sussex in the State of New Jersey, do hereby certify that the foregoing Resolution is a true copy of the Original Resolution duly passed and adopted by a majority of the full membership of the Andover Township Committee at its meeting on September 15, 2022.

  
\_\_\_\_\_  
Patricia L. Bussow, RMC  
Municipal Clerk/ Administrator

TOWNSHIP OF ANDOVER  
COUNTY OF SUSSEX, STATE OF NEW JERSEY

RESOLUTION #R2022-111

RESOLUTION OF THE TOWNSHIP OF ANDOVER, COUNTY OF SUSSEX AND STATE OF  
NEW JERSEY TO AUTHORIZE THE ANNUAL SICK LEAVE BUYBACK OPTION TO  
PUBLIC WORKS REPAIRER MARK W. BIRD FOR 2022

*WHEREAS*, as a contract proposal to the Township of Andover from Local 81427 IUE-CWA, Proposal #6 states "any Road Department employee that has accrued a minimum of seventy-five (75) sick days may sell back any balance above seventy-five (75) days, not to exceed \$5000 per year. Request for buyback must be submitted by September 1<sup>st</sup> of that year. Payment will be made in the first regular pay of November. The rate of pay will be seventy-five percent (75% per day).

*WHEREAS*, in his memo dated September 1, 2022, Mark W. Bird notified the Clerk/Administrator requesting 225 hours of sick leave be used for the annual buyback, the dollar amount totaling \$4,993.44 and

*WHEREAS*, in accordance with the contract, this request leaves Mark W. Bird with a sick leave balance of 439 hours; and,

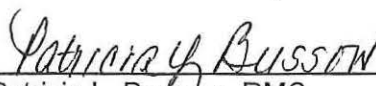
*WHEREAS*, Public Works Repairer, Mark W. Bird is not exempt from the sick leave buy back pursuant to N.J.S.A. 11A:6-19.2 as he was hired prior to May 21, 2010; and

***NOW, THEREFORE, BE IT RESOLVED***, by the Township Committee of the Township of Andover, County of Sussex and State of New Jersey to authorize the Sick Leave Annual Buyback option to Public Works Repairer Mark W. Bird as so requested for a total 225 hours totaling \$4,993.44 payable on the first regular payday of November; and,

***BE IT FURTHER RESOLVED***, that certified copies of this Resolution be forwarded to Public Works Repairer Mark W. Bird and the Finance Department for their records.

CERTIFICATION

I, Patricia L. Bussow, Municipal Clerk of the Township of Andover, in the County of Sussex in the State of New Jersey, do hereby certify that the foregoing Resolution is a true copy of the Original Resolution duly passed and adopted by a majority of the full membership of the Andover Township Committee at its meeting on September 15, 2022.

  
\_\_\_\_\_  
Patricia L. Bussow, RMC  
Municipal Clerk/Administrator

TOWNSHIP OF ANDOVER  
COUNTY OF SUSSEX, STATE OF NEW JERSEY

RESOLUTION #R2022-112

RESOLUTION OF THE TOWNSHIP OF ANDOVER, COUNTY OF SUSSEX AND STATE OF  
NEW JERSEY TO AUTHORIZE THE ANNUAL SICK LEAVE BUYBACK OPTION TO  
LIEUTENANT BRIAN KITHCART FOR 2022

**WHEREAS**, In accordance to the Fraternal Order of Police Andover Lodge No. 177 Agreement with the Township of Andover, Article IX "Sick Leave", Section G. Sick Time Buyback states *Any officer that has accrued a minimum of seventy-five (75) sick days may sell back any balance above the seventy-five (75) days, not to exceed \$5000 per year. Request for buyback must be submitted by September 1<sup>st</sup> of that year. Payment will be made in the first regular pay of November. The rate of pay will be at seventy-five percent (75%) per day.*

**WHEREAS**, in his memo dated August 17, 2022, Police Lieutenant Brian Kithcart notified the Clerk/Administrator requesting 110 hours of sick leave be used for the annual buyback, the dollar amount totaling \$4,704.79; and

**WHEREAS**, in accordance with the FOP Contract, this request leaves Lieutenant Brian Kithcart with a sick leave balance of 1215 hours; and,

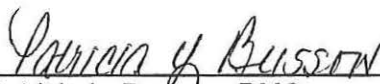
**WHEREAS**, Lieutenant Brian Kithcart is not exempt from the sick leave buy back pursuant to N.J.S.A. 11A:6-19.2 as he was hired prior to May 21, 2010; and

**NOW, THEREFORE, BE IT RESOLVED** by the Township Committee of the Township of Andover, County of Sussex and State of New Jersey to authorize the Sick Leave Annual Buyback option to Lieutenant Brian Kithcart as so requested for a total of 110 hours totaling \$4,704.79 payable on the first regular payday of November; and,

**BE IT FURTHER RESOLVED**, that certified copies of this Resolution be forwarded to Lieutenant Brian Kithcart and the Finance Department for their records.

CERTIFICATION

I, Patricia L. Bussow, Municipal Clerk of the Township of Andover, in the County of Sussex in the State of New Jersey, do hereby certify that the foregoing Resolution is a true copy of the Original Resolution duly passed and adopted by a majority of the full membership of the Andover Township Committee at its meeting on September 15, 2022.



\_\_\_\_\_  
Patricia L. Bussow, RMC  
Municipal Clerk/Administrator



TOWNSHIP OF ANDOVER  
COUNTY OF SUSSEX, STATE OF NEW JERSEY

RESOLUTION #R2022-113

**RESOLUTION OF THE TOWNSHIP OF ANDOVER, COUNTY OF SUSSEX AND STATE OF  
NEW JERSEY TO AUTHORIZE THE ANNUAL SICK LEAVE BUYBACK OPTION TO  
PATROLMAN GEORGE LAUDIS FOR 2022**

**WHEREAS**, In accordance to the Fraternal Order of Police Andover Lodge No. 177 Agreement with the Township of Andover, Article IX "Sick Leave", Section G. Sick Time Buyback states *Any officer that has accrued a minimum of seventy-five (75) sick days may sell back any balance above the seventy-five (75) days, not to exceed \$5000 per year. Request for buyback must be submitted by September 1<sup>st</sup> of that year. Payment will be made in the first regular pay of November. The rate of pay will be at seventy-five percent (75%) per day.*

**WHEREAS**, in his memo dated August 17, 2022, Patrolman George Laoudis notified the Clerk/Administrator requesting 130 hours of sick leave be used for the annual buyback, the dollar amount totaling \$4,963.73; and

**WHEREAS**, in accordance with the FOP Contract, this request leaves Patrolman George Laoudis with a sick leave balance of 929 hours; and,

**WHEREAS**, Patrolman George Laoudis is not exempt from the sick leave buy back pursuant to N.J.S.A. 11A:6-19.2 as he was hired prior to May 21, 2010; and

**NOW, THEREFORE, BE IT RESOLVED** by the Township Committee of the Township of Andover, County of Sussex and State of New Jersey to authorize the Sick Leave Annual Buyback option to Patrolman George Laoudis as so requested for a total of 130 hours totaling \$4,963.73 payable on the first regular payday of November; and,

**BE IT FURTHER RESOLVED**, that certified copies of this Resolution be forwarded to Patrolman George Laoudis and the Finance Department for their records.

**CERTIFICATION**

I, Patricia L. Bussow, Municipal Clerk of the Township of Andover, in the County of Sussex in the State of New Jersey, do hereby certify that the foregoing Resolution is a true copy of the Original Resolution duly passed and adopted by a majority of the full membership of the Andover Township Committee at its meeting on September 15, 2022.

  
\_\_\_\_\_  
Patricia L. Bussow, RMC  
Municipal Clerk/Administrator

TOWNSHIP OF ANDOVER  
COUNTY OF SUSSEX, STATE OF NEW JERSEY

RESOLUTION #R2022-114

RESOLUTION OF THE TOWNSHIP OF ANDOVER, COUNTY OF SUSSEX AND STATE OF  
NEW JERSEY TO AUTHORIZE THE ANNUAL SICK LEAVE BUYBACK OPTION TO  
PATROLMAN RICHARD THEN FOR 2022

**WHEREAS**, In accordance to the Fraternal Order of Police Andover Lodge No. 177 Agreement with the Township of Andover, Article IX "Sick Leave", Section G. Sick Time Buyback states *Any officer that has accrued a minimum of seventy-five (75) sick days may sell back any balance above the seventy-five (75) days, not to exceed \$5000 per year. Request for buyback must be submitted by September 1<sup>st</sup> of that year. Payment will be made in the first regular pay of November. The rate of pay will be at seventy-five percent (75%) per day.*

**WHEREAS**, in his memo dated August 17, 2022, Patrolman Richard Then notified the Clerk/Administrator requesting 100 hours of sick leave be used for the annual buyback, the dollar amount totaling \$4,036.50, and

**WHEREAS**, in accordance with the FOP Contract, this request leaves Patrolman Richard Then with a sick leave balance of 885.50 hours; and,

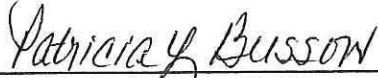
**WHEREAS**, Patrolman Richard Then is not exempt from the sick leave buy back pursuant to N.J.S.A. 11A:6-19.2 as he was hired prior to May 21, 2010; and

**NOW, THEREFORE, BE IT RESOLVED** by the Township Committee of the Township of Andover, County of Sussex and State of New Jersey to authorize the Sick Leave Annual Buyback option to Patrolman Jason Mills as so requested for a total of 100 hours totaling \$4,036.50 payable on the first regular payday of November; and,

**BE IT FURTHER RESOLVED**, that certified copies of this Resolution be forwarded to Patrolman Richard Then and the Finance Department for their records.

CERTIFICATION

I, Patricia L. Bussow, Municipal Clerk of the Township of Andover, in the County of Sussex in the State of New Jersey, do hereby certify that the foregoing Resolution is a true copy of the Original Resolution duly passed and adopted by a majority of the full membership of the Andover Township Committee at its meeting on September 15, 2022.

  
\_\_\_\_\_  
Patricia L. Bussow, RMC  
Municipal Clerk/ Administrator

TOWNSHIP OF ANDOVER  
COUNTY OF SUSSEX, STATE OF NEW JERSEY

RESOLUTION #R2022-115

RESOLUTION OF THE TOWNSHIP OF ANDOVER, COUNTY OF SUSSEX AND STATE OF  
NEW JERSEY TO AUTHORIZE THE ANNUAL SICK LEAVE BUYBACK OPTION TO  
SERGEANT ROBERT YOUNGS FOR 2022

**WHEREAS**, In accordance to the Fraternal Order of Police Andover Lodge No. 177 Agreement with the Township of Andover, Article IX "Sick Leave", Section G. Sick Time Buyback states *Any officer that has accrued a minimum of seventy-five (75) sick days may sell back any balance above the seventy-five (75) days, not to exceed \$5000 per year. Request for buyback must be submitted by September 1<sup>st</sup> of that year. Payment will be made in the first regular pay of November. The rate of pay will be at seventy-five percent (75%) per day.*

**WHEREAS**, in his memo dated August 17, 2022, Sergeant Robert Youngs notified the Clerk/Administrator requesting 114 hours of sick leave be used for the annual buyback, the dollar amount totaling \$4,967.02, and

**WHEREAS**, in accordance with the FOP Contract, this request leaves Sergeant Robert Youngs with a sick leave balance of 954.50 hours; and,

**WHEREAS**, Sergeant Robert Youngs is not exempt from the sick leave buy back pursuant to N.J.S.A. 11A:6-19.2 as he was hired prior to May 21, 2010; and

**NOW, THEREFORE, BE IT RESOLVED** by the Township Committee of the Township of Andover, County of Sussex and State of New Jersey to authorize the Sick Leave Annual Buyback option to Sergeant Robert Youngs as so requested for a total of 114 hours totaling \$4,967.02 payable on the first regular payday of November; and,

**BE IT FURTHER RESOLVED**, that certified copies of this Resolution be forwarded to Sergeant Robert Youngs and the Finance Department for their records.

CERTIFICATION

I, Patricia L. Bussow, Municipal Clerk of the Township of Andover, in the County of Sussex in the State of New Jersey, do hereby certify that the foregoing Resolution is a true copy of the Original Resolution duly passed and adopted by a majority of the full membership of the Andover Township Committee at its meeting on September 15, 2022.

  
\_\_\_\_\_  
Patricia L. Bussow, RMC  
Municipal Clerk/ Administrator

TOWNSHIP OF ANDOVER  
COUNTY OF SUSSEX, STATE OF NEW JERSEY

RESOLUTION #R2022-116

**RESOLUTION OF THE TOWNSHIP OF ANDOVER, COUNTY OF SUSSEX AND STATE OF  
NEW JERSEY TO AUTHORIZE THE ANNUAL SICK LEAVE BUYBACK OPTION TO  
POLICE CHIEF ERIC DANIELSON FOR 2022**

***WHEREAS,** In accordance to the Fraternal Order of Police Andover Lodge No. 177 Agreement with the Township of Andover, Article IX "Sick Leave", Section G. Sick Time Buyback states Any officer that has accrued a minimum of seventy-five (75) sick days may sell back any balance above the seventy-five (75) days, not to exceed \$5000 per year. Request for buyback must be submitted by September 1<sup>st</sup> of that year. Payment will be made in the first regular pay of November. The rate of pay will be at seventy-five percent (75%) per day.*

**WHEREAS,** in his memo dated August 17, 2022, Police Chief Eric Danielson notified the Clerk/Administrator requesting 94 hours of sick leave be used for the annual buyback, the dollar amount totaling \$4,931.73 and

**WHEREAS,** in accordance with the FOP Contract, this request leaves Chief Eric Danielson with a sick leave balance of 1234 hours; and

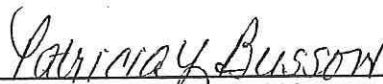
**WHEREAS,** Police Chief Eric Danielson is not exempt from the sick leave buy back pursuant to N.J.S.A. 11A:6-19.2 as he was hired prior to May 21, 2010; and

**NOW, THEREFORE, BE IT RESOLVED** by the Township Committee of the Township of Andover, County of Sussex and State of New Jersey to authorize the Sick Leave Annual Buyback option to Chief Eric Danielson as so requested for a total of 94 hours totaling \$4,931.73 payable on the first regular payday of November; and,

**BE IT FURTHER RESOLVED,** that certified copies of this Resolution be forwarded to Chief Eric Danielson and the Finance Department for their records.

**CERTIFICATION**

I, Patricia L. Bussow, Municipal Clerk of the Township of Andover, in the County of Sussex in the State of New Jersey, do hereby certify that the foregoing Resolution is a true copy of the Original Resolution duly passed and adopted by a majority of the full membership of the Andover Township Committee at its meeting on September 15, 2022.

  
\_\_\_\_\_  
Patricia L. Bussow, RMC  
Municipal Clerk/ Administrator

TOWNSHIP OF ANDOVER  
COUNTY OF SUSSEX, STATE OF NEW JERSEY

RESOLUTION #R2022-117

RESOLUTION OF THE TOWNSHIP OF ANDOVER, COUNTY OF SUSSEX AND STATE OF  
NEW JERSEY TO AUTHORIZE THE ANNUAL SICK LEAVE BUYBACK OPTION TO  
POLICE DEPARTMENT SECRETARY JUDY MCSHERRY FOR 2022

*WHEREAS, the Township of Andover Personnel Policy states "any employee that has accrued a minimum of seventy-five (75) sick days may sell back any balance above seventy-five (75) days, not to exceed \$5000 per year. Request for buyback must be submitted by September 1<sup>st</sup> of that year. Payment will be made in the first regular pay of November. The rate of pay will be seventy-five percent (75% per day).*

*WHEREAS, in her memo dated August 30, 2022, Police Department Secretary Judy McSherry notified the Clerk/Administrator requesting 200 hours of sick leave be used for the annual buyback, the dollar amount totaling \$4,991.55; and*

*WHEREAS, in accordance with the policy, this request leaves Judy McSherry with a sick leave balance of 662.50 hours; and,*


*WHEREAS, Police Department Secretary Judy McSherry is not exempt from the sick leave buy back pursuant to N.J.S.A. 11A:6-19.2 as she was hired prior to May 21, 2010; and*

*NOW, THEREFORE, BE IT RESOLVED, by the Township Committee of the Township of Andover, County of Sussex and State of New Jersey to authorize the Sick Leave Annual Buyback option to Police Department Secretary Judy McSherry as so requested for a total 200 hours totaling \$4,991.55 payable on the first regular payday of November; and,*

*BE IT FURTHER RESOLVED, that certified copies of this Resolution be forwarded to Police Department Secretary Judy McSherry and the Finance Department for their records.*

CERTIFICATION

I, Patricia L. Bussow, Municipal Clerk of the Township of Andover, in the County of Sussex in the State of New Jersey, do hereby certify that the foregoing Resolution is a true copy of the Original Resolution duly passed and adopted by a majority of the full membership of the Andover Township Committee at its meeting on September 15, 2022.

  
\_\_\_\_\_  
Patricia L. Bussow, RMC  
Municipal Clerk/Administrator

TOWNSHIP OF ANDOVER  
COUNTY OF SUSSEX, STATE OF NEW JERSEY

RESOLUTION #R2022-118

**RESOLUTION OF THE TOWNSHIP OF ANDOVER, COUNTY OF SUSSEX AND STATE OF NEW JERSEY TO PREPARE CERTAIN SURPLUS MUNICIPAL EQUIPMENT AND VEHICLES THAT ARE CONSIDERED UNREASONABLY EXPENSIVE TO REPAIR FOR SALE ONLINE AT MUNICIPAL AUCTION THROUGH MUNCIBID IN ACCORDANCE WITH THE CONDITIONS OF THE STATE CONTRACT**

**WHEREAS**, the Township of Andover is the owner of the certain surplus equipment and vehicles, which is no longer needed for public use due to its deterioration; and,

**WHEREAS**, the Township of Andover desires to authorize these items for sale in an "as is" condition without express or implied warranties; and,

**NOW THEREFORE BE IT RESOLVED** by the Mayor and Township Committee of the Township of Andover, County of Sussex, State of New Jersey that the items listed in the list of equipment and vehicles, attached hereto is described surplus equipment is no longer needed for public use and the sale of such property shall be conducted through Muncibid in accordance with the terms and conditions of the State Contract. The terms and conditions of the agreement entered into with Muncibid is available online at [www.municibid.com](http://www.municibid.com) and also available from Andover Township Clerk's Office.

(1) The sale will be conducted online and the address of the auction site is [www.municibid.com](http://www.municibid.com).

(2) The sale is being conducted pursuant to Local Finance Notice 2008-9.

(3) A list of the surplus property to be sold is attached to this resolution

(4) The surplus property as identified shall be sold in an "as-is" condition without express or implied warranties with the successful bidder required to execute a Hold Harmless and Indemnification Agreement concerning use of said surplus property.

(5) The Township of Andover reserves the right to accept or reject any bid submitted.

**BE IT FURTHER RESOLVED**, that a certified copy of this resolution be forwarded to Muncibid, the Department of Public Works, the Finance Department and the Township Auditor for their records.

CERTIFICATION

I, Patricia L. Bussow, Municipal Clerk of the Township of Andover, in the County of Sussex in the State of New Jersey, do hereby certify that the foregoing Resolution is a true copy of the Original Resolution duly passed and adopted by a majority of the full membership of the Andover Township Committee at its meeting on September 15, 2022.



Patricia L. Bussow, RMC  
Administrator/Municipal Clerk

2022 Auction Vehicles

Vehicle #1

2010 Ford Expedition

VIN: 1FMJU1G52AEB71302

TOWNSHIP OF ANDOVER  
COUNTY OF SUSSEX, STATE OF NEW JERSEY

RESOLUTION #R2022-118

**RESOLUTION OF THE TOWNSHIP OF ANDOVER, COUNTY OF SUSSEX AND STATE OF  
NEW JERSEY TO PREPARE CERTAIN SURPLUS MUNICIPAL EQUIPMENT AND  
VEHICLES THAT ARE CONSIDERED UNREASONABLY EXPENSIVE TO REPAIR FOR  
SALE ONLINE AT MUNICIPAL AUCTION THROUGH MUNCIBID IN ACCORDANCE WITH  
THE CONDITIONS OF THE STATE CONTRACT**

**WHEREAS**, the Township of Andover is the owner of the certain surplus equipment and vehicles, which is no longer needed for public use due to its deterioration; and,

**WHEREAS**, the Township of Andover desires to authorize these items for sale in an "as is" condition without express or implied warranties; and,

**NOW THEREFORE BE IT RESOLVED** by the Mayor and Township Committee of the Township of Andover, County of Sussex, State of New Jersey that the items listed in the list of equipment and vehicles, attached hereto is described surplus equipment is no longer needed for public use and the sale of such property shall be conducted through Muncibid in accordance with the terms and conditions of the State Contract. The terms and conditions of the agreement entered into with Muncibid is available online at [www.municibid.com](http://www.municibid.com) and also available from Andover Township Clerk's Office.

(1) The sale will be conducted online and the address of the auction site is [www.municibid.com](http://www.municibid.com).

(2) The sale is being conducted pursuant to Local Finance Notice 2008-9.

(3) A list of the surplus property to be sold is attached to this resolution


(4) The surplus property as identified shall be sold in an "as-is" condition without express or implied warranties with the successful bidder required to execute a Hold Harmless and Indemnification Agreement concerning use of said surplus property.

(5) The Township of Andover reserves the right to accept or reject any bid submitted.

**BE IT FURTHER RESOLVED**, that a certified copy of this resolution be forwarded to Muncibid, the Department of Public Works, the Finance Department and the Township Auditor for their records.

CERTIFICATION

I, Patricia L. Bussow, Municipal Clerk of the Township of Andover, in the County of Sussex in the State of New Jersey, do hereby certify that the foregoing Resolution is a true copy of the Original Resolution duly passed and adopted by a majority of the full membership of the Andover Township Committee at its meeting on September 15, 2022.



Patricia L. Bussow, RMC  
Administrator/Municipal Clerk



2022 Auction Vehicles

Vehicle #1

2010 Ford Expedition

VIN: 1FMJU1G52AEB71302

**TOWNSHIP OF ANDOVER  
COUNTY OF SUSSEX, STATE OF NEW JERSEY**

**RESOLUTION #R2022-119**

**A RESOLUTION OF THE TOWNSHIP OF ANDOVER, COUNTY OF SUSSEX, AND STATE OF NEW JERSEY, AUTHORIZING THE TOWNSHIP OF ANDOVER LAND USE BOARD TO UNDERTAKE A PRELIMINARY INVESTIGATION TO DETERMINE WHETHER THE PROPOSED STUDY AREA, WHICH INCLUDES THE PROPERTY IDENTIFIED AS BLOCK 108, LOT 1.05 ON THE TOWNSHIP TAX MAP, QUALIFIES AS AN AREA IN NEED OF REDEVELOPMENT WITH THE RIGHT OF CONDEMNATION PURSUANT TO N.J.S.A. 40A:12A ET SEQ.**

**WHEREAS**, the Local Redevelopment and Housing Law, N.J.S.A. 40A:12A-1 et seq. ("Redevelopment Law"), provides a mechanism to assist local governments in efforts to promote programs of redevelopment; and

**WHEREAS**, the Redevelopment Law sets forth the procedures for the Township to declare an area in need of redevelopment, along with the development and effectuation of a redevelopment plan; and

**WHEREAS**, pursuant to the required redevelopment procedures, specifically set forth in N.J.S.A. 40A:12A-6, no area of a municipality shall be deemed a redevelopment area unless the governing body of the municipality shall, by Resolution, authorize the Planning Board to undertake a preliminary investigation to determine whether a proposed area is a redevelopment area meeting the criteria set forth in N.J.S.A. 40A:12A-5; and

**WHEREAS**, the New Jersey Legislature adopted, and the Governor signed, P.L. 2013, Chapter 159, which amended the Redevelopment Law, including the procedural requirements of N.J.S.A. 40A:12A-5 and N.J.S.A. 40A:12A-6; and

**WHEREAS**, pursuant to N.J.S.A. 40A:12A-6, "[t]he resolution authorizing the Planning Board to undertake a preliminary investigation shall state whether the redevelopment area determination shall authorize the municipality to use all those powers provided by the Legislature for use in a redevelopment area other than the use of eminent domain (hereinafter referred to as a "Non-Condemnation Redevelopment Area") or whether the redevelopment area determination shall authorize the municipality to use all those powers provided by the Legislature for use in a redevelopment area, including the power of eminent domain (hereinafter referred to as a "Condemnation Redevelopment Area")"; and

**WHEREAS**, the Mayor and Township Committee find it to be in the best interest of the Township and its residents to authorize the Township's Land Use Board pursuant to N.J.S.A. 40A:12A-4 and N.J.S.A. 40A:12A-6 to undertake such preliminary

investigation of the study area which includes a property situated on Mulford Road, identified on the Andover Township Tax Map as Block 108, Lots 1.05 ("Study Area"); and

**WHEREAS**, the Mayor and Township Committee of the Township of Andover wish to direct the Land Use Board to undertake a preliminary investigation utilizing Jessica Caldwell, PP to prepare the preliminary investigation to prepare a report to determine whether the proposed study area qualifies as an area in need of redevelopment with the right of condemnation pursuant to N.J.S.A. 40A:12A-5.

**NOW, THEREFORE, BE IT RESOLVED** by the Mayor and Committee of the Township of Andover, County of Sussex and State of New Jersey, that the Land Use Board is hereby authorized to undertake a preliminary investigation, utilizing Jessica Caldwell, PP to prepare the preliminary investigation, pursuant to the notice, conduct a hearing and comply with other requirements of the Redevelopment Law, N.J.S.A. 40A:12A-1 et seq., as amended, in order to recommend to the Township Committee whether the area comprising the study area is an area in need of redevelopment with the right of condemnation according to the criteria set forth in N.J.S.A. 40A:12A-5 et el.

**BE IT FURTHER RESOLVED** that, pursuant to N.J.S.A. 40A:12A-1 et seq., the redevelopment area determination if approved shall authorize the Township to use all those powers provided by the Legislature for use in an area in need of redevelopment with the right of condemnation.

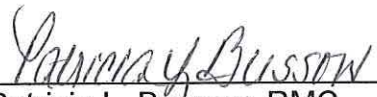
**BE IT FURTHER RESOLVED** that the Land Use Board shall submit its findings and recommendations to the Township Committee in the form of a Resolution with supporting documentation.

**BE IT FURTHER RESOLVED** that a certified copy of this Resolution is to be forwarded to the Land Use Board of the Township of Andover.

**BE IT FURTHER RESOLVED**, that this Resolution shall take effect immediately.

#### **CERTIFICATION**

I, Patricia L. Bussow, Municipal Clerk of the Township of Andover, in the County of Sussex in the State of New Jersey, do hereby certify that the foregoing Resolution is a true copy of the Original Resolution duly passed and adopted by a majority of the full membership of the Andover Township Committee at its Annual Reorganization Meeting held on September 15, 2022.

  
\_\_\_\_\_  
Patricia L. Bussow, RMC  
Administrator/Municipal Clerk



TOWNSHIP OF ANDOVER  
SUSSEX COUNTY, NEW JERSEY

ORDINANCE #2022-18

**AN ORDINANCE ADOPTING AN AMENDMENT TO CHAPTER 190 ATTACHMENT A, THE ROUTE 206 REDVELOPMENT PLAN, OF THE ZONING CODE OF THE TOWNSHIP OF ANDOVER TO PERMIT CLASS 5 CANNABIS RETAILER LICENSES AS A PERMITTED USE IN THE ROUTE 206 REDEVELOPMENT ZONE.**

**WHEREAS**, the Local Redevelopment and Housing Law, N.J.S.A. 40A:12A-1 et seq. (the "Act"), authorizes municipalities to determine whether certain parcels of land in the municipality constitute areas in need of redevelopment or areas in need of rehabilitation, as such terms are defined in the Act; and

**WHEREAS**, on September 2, 2021, the Township of Andover (the "Township"), designated property identified as an area covering 812 acres and 43 tax lots in the Township along US Route 206 and Stickles Pond Road, with specific tax lot and blocks identified in Attachment A, as an area in need of redevelopment in accordance with the Act (the "Redevelopment Area"); and

**WHEREAS**, the Township Committee referred the development of a redevelopment plan for the Redevelopment Area to the Township's Land Use Board, which developed and reviewed a redevelopment plan entitled, "Route 206 Redevelopment Plan," prepared by J Caldwell & Associates, LLC, dated March 2022, which is attached hereto as Attachment A; and

**WHEREAS**, the Township Committee adopted the Route 206 Redevelopment Plan via Ordinance 2022-13 on June 2, 2022; and

**WHEREAS**, the Township Committee finds that it is in the public interest to add Class 5 Cannabis Retailers as a permitted use on parcels south of Stickles Pond Road in Area 1 and all parcels in Area 2 of the Route 206 Redevelopment Zone as permitted uses; and

**NOW, THEREFORE, BE IT ORDAINED**, by the Township Committee of the Township of Andover, in the County of Sussex, and State of New Jersey, as follows:

**SECTION 2.** The Route 206 Redevelopment Plan dated October 2022 (Attachment A) is hereby incorporated into the Township's Zoning Ordinance, Chapter 190, as Attachment 9 entitled "Route 206 Redevelopment Zone/Andover Hamlet Overlay Zone". The plan is amended to include cannabis marketplace class 5 retail as a permitted use exclusively on area 1 property south of County Road 618/Fredon Springdale Road and all area 2 properties on the map as set forth in the Redevelopment Plan (See Attachment A) on pages 11 and 12.

**SECTION 3.** All ordinances of the Township of Andover, which are inconsistent with the provisions of this Ordinance, are hereby repealed to the extent of such inconsistency.

**SECTION 4.** If any section, subsection, sentence, clause or phrase of this Ordinance is for any reason held to be unconstitutional or invalid, such decision shall not affect the remaining portions of this Ordinance.

**SECTION 5.** This Ordinance may be renumbered for codification purposes.

**SECTION 6.** This Ordinance shall take effect immediately upon final passage, approval, and publication as required by law.

**NOTICE OF PENDING ORDINANCE**

PUBLIC NOTICE is hereby given that the foregoing Ordinance was introduced and passed at first reading at a Regular Meeting of the Township Committee of the Township of Andover held on September 15, 2022. A public hearing regarding same will be held at a hybrid meeting scheduled for October 20, 2022, beginning at 7:00PM, to be held both in person and virtually via Zoom, which details for accessing the meeting are as follows:

Webinar ID: 832 6104 1515

Passcode: 100240

Join Zoom Meeting with browser:

<https://us02web.zoom.us/j/83261041515?pwd=dkkJOGJRMWc5MjUxcE9UWWxadINRdz09>

or

Join Zoom Meeting by Phone:

+ 1 301 715 8592

All persons interested both for and against said ordinance shall be given an opportunity to be heard concerning same.

Patricia L. Bussow, RMC  
Administrator/Municipal Clerk

ATTACHMENT A

ROUTE 206 REDEVELOPMENT PLAN  
Amended October 2022

**ROUTE 206  
REDEVELOPMENT PLAN**

**Township of Andover  
Sussex County, New Jersey**

March 2022  
Amended November 2022



**J Caldwell  
& Associates, LLC**  
Community Planning Consultants

*Jessica Caldwell*  
Jessica Caldwell, P.P., A.I.C.P., Town Planner, P.P. #5944

The original of this document was signed and sealed in accordance with Chapter 41 of  
Title 13 of the State Board of Professional Planners.

145 Spring Street, Suite E  
Newton, New Jersey 07860



Contents

INTRODUCTION .....3

PLAN CONTEXT ..... 4

PURPOSE..... 4

DEFINITIONS ..... 4

PLAN CONSISTENCY REVIEW .....7

    Township Master Plan Consistency .....7

    Local, Regional, and State Plan Consistency..... 8

    Redevelopment Plan Map .....10

APPLICATION OF REGULATIONS .....14

REDEV Zone– Route 206 Redevelopment Zone .....14

    Permitted Uses .....14

    Conditional Uses .....14

    Interim/Temporary Uses .....15

    Area and Bulk Requirements .....15

AHCO – Andover Hamlet Center Overlay .....16

    Applicability.....16

    Permitted Uses .....16

    Conditional Uses .....17

    Area and Bulk Requirements .....17

    Affordable Housing Requirements .....17

Standards for the Route 206 Redevelopment Zone and AHCO Zone.....18

    Design Standards.....18

    Parking Standards ..... 26

    Screening Requirements .....27

    Mobility Regulations ..... 28

    Signage ..... 29

    Ordinance Standards Applicable ..... 29

    Submittal Requirements ..... 29

LEGAL PROVISIONS ..... 29

    The Validity of the Plan ..... 29

    Zoning Map Revisions ..... 29

    Amendments to the Route 206 Redevelopment Area Plan .....30

    Variations in Site Plan Design.....30

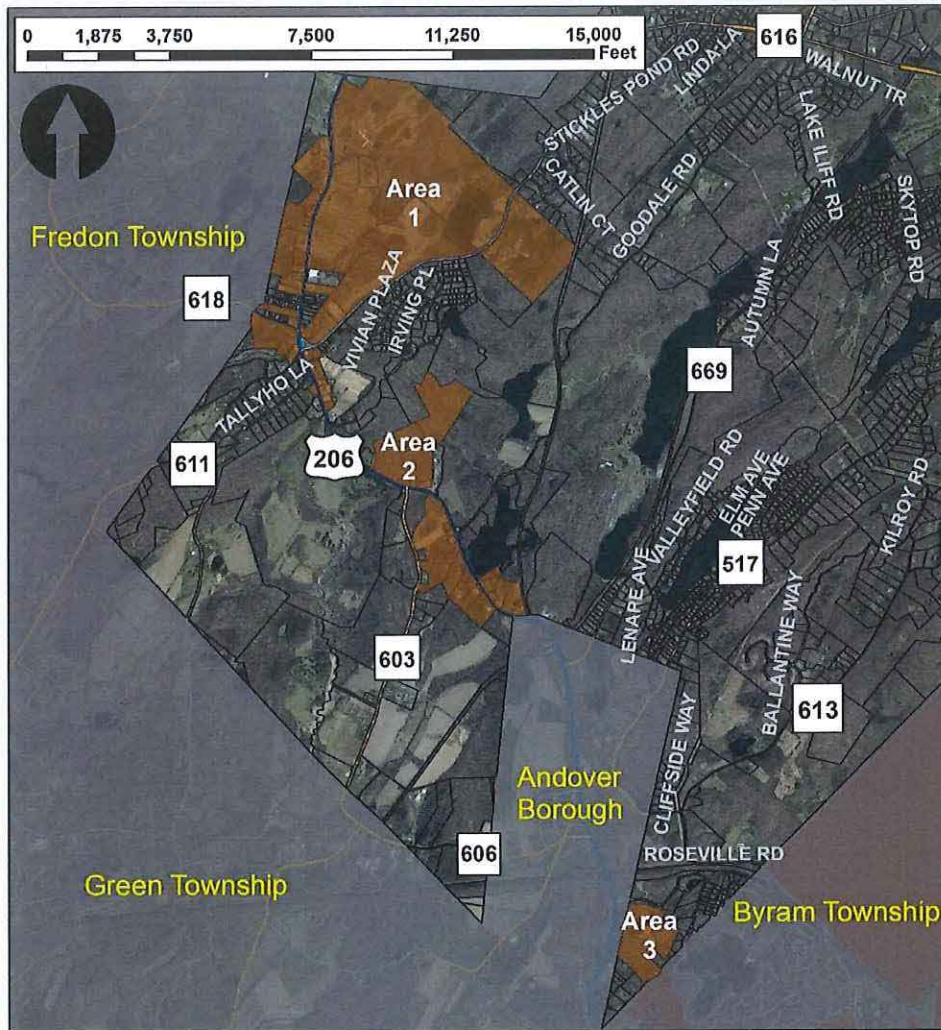
ACQUISITION PLAN.....31

RELOCATION PLAN.....31


PARCELS WITHIN ROUTE 206 REDEVELOPMENT AREA .....31

# INTRODUCTION

The Route 206 Redevelopment Plan (the "Plan") governs the Non-Condensation Area in Need of Redevelopment (the "Plan Area") designated by Resolution 2021-91 adopted by the Township Committee of the Township of Andover on September 2, 2021, pursuant to the Local Redevelopment and Housing Law, N.J.S.A. 40A:12A-1 et seq. (the "Redevelopment Law"), including 43 tax lots along the Route 206 Corridor (the "Plan Area"). This Plan is proposed to execute the redevelopment of the Area, shown below.



## Route 206 Redevelopment Plan

 Route 206 Redevelopment

Source: NJDEP 2020 High Resolution Orthophotography, NJOGIS



## PLAN CONTEXT

The Plan Area occupies approximately 812 acres and includes 43 tax lots in Andover Township, Sussex County. The Plan would replace six (6) zones in the Plan Area, the B/A – Business/Airport Zone, the C/I – Commercial Industrial Zone, the HC – Highway Commercial Zone, the ML – Mount Laurel Zone, R-2 – Single Family Residential Zone, and the PCD – Planned Commercial Development Zone. The Plan Area centers around U.S. Highway Route 206 (Route 206) and Stickles Pond Road. A complete list of the parcels in the Plan Area by tax lot is provided at the end of this report. The existing uses in the Plan Area consists of a mix of commercial, residential, and industrial uses. A variety of uses are located within the Plan Area including convenience stores, restaurants, motels, retail and service uses, a former airport, banks, gas and service stations, farms, autobody shops, warehousing and light industrial, offices, quasi-public uses such as churches and a masonic temple, and a variety of residential uses. The Plan Area is primarily accessed by Route 206, which is one of two main commercial and residential corridors in the Township of Andover, with the other main corridor being Newton-Sparta Avenue. As a result, the Plan Area is a crucial economic center for the municipality. The primary goal of the Redevelopment Plan is to promote economic vitality along the Route 206 Corridor which serves residents and visitors as an accessible highway commercial corridor.

## PURPOSE

This Redevelopment Plan is designed to serve as the zoning for the Plan Area by providing guidelines for new construction in the Plan Area and establishing permitted land uses and building requirements for the Area. The Plan permits a mix of uses focusing on commercial and light industrial for the majority of the Plan Area, however the northern section includes a mixed-use overlay zone that contemplates the opportunity to also provide housing in this section of the Township. The overall goal of the plan is to enliven this underutilized section of the Township. The street frontage of parcels in the Plan Area should be developed with an inviting streetscape to create an engaging public realm. The Plan is designed to encourage the integration of enhanced building designs, parking, landscaping, and signage elements in order to improve the appearance of the streetscape along the Route 206 corridor and create a visually appealing and productive gateway into and corridor through the Township in concert with the Township's Master Plan policies and goals for the Plan Area.

## DEFINITIONS

The following definitions apply to this Redevelopment Plan. Where terms are not identified, definitions in the Township Ordinances shall prevail.

**Banquet Facilities** - A building or a portion of a building which is rented or reserved by individuals, businesses, or groups to accommodate private functions including, but not limited to, banquets, weddings, anniversaries and other similar celebrations, and such use may or may not include: 1) kitchen facilities for the preparation or catering of food; 2) the sale of alcoholic beverages for on-premises consumption, only during scheduled events and not open to the general public; and 3) outdoor gardens or reception facilities.

**Commercial Recreation** - Facilities of a recreational nature, such as a riding academy, bowling alley, golf course or tennis club operated for profit, open to the public.

**Duplexes** – A building on a single lot containing two single-family dwelling units, each of which is totally separated from the other by an unpierced wall extending from the basement to roof or an unpierced ceiling and floor extending from exterior wall to exterior wall except for a common stairwell exterior to both dwelling units.

**Fast-food establishments** – An establishment whose principal business is the sale of pre-prepared or rapidly prepared food directly to the consumer in a ready-to-consume state for consumption either within the restaurant building or in vehicles on the premises or off the premises.

**Farm stands** – A structure for the display and sale of farm products primarily grown on the property upon which the stand is located.

**Flex-space buildings** – Light industrial buildings that have a combination of warehouse space and office/retail space in each unit and units often have a warehouse door or loading dock.

**Greenhouses**– A building or structure whose roof and sides are made largely of glass or other transparent or translucent material and in which the temperature and humidity can be regulated for the cultivation of fragile or out of season plants

**Health clubs** - An establishment that provides facilities for aerobic exercises, running and jogging, exercise equipment, game courts, swimming facilities, and saunas, showers, massage rooms and lockers

**Gross lot area** – For the purposes of establishing residential density, Gross Lot Area is the total gross land area of a redevelopment project dedicated to residential or mixed-use development.

**Light manufacturing, fabricating and assembly plants** - A manufacturing or other similar industrial operation which is confined to an entirely enclosed building and such manufacturing operation does not cause the emission or production of: odor, dust, refuse matter, liquid wastes, vapor, gas, smoke, light, glare, vibrations and/or noise.

**Live/work** - A unit that contains one dwelling unit, in addition to dedicated floor space for the purpose of conducting a business. The business component may or may not be separate and distinct from the dwelling and may involve retail sales of products and/or visitation by clients for services.

**Medical offices** – An office used by physicians and dentists or similar medical professionals for treatment and examination of patients; provided, that no overnight patients shall stay on the premises.

**Multifamily residential** – A building containing three or more dwelling units including units that are located one over another.

**Nurseries** – The growing, cultivation, storage and sale of garden plants, flowers, trees, shrubs, and fertilizers, as well as the sale of garden tools and similar accessories and ancillary products, to the general public.

**Professional, business and administrative offices** – A room or group of rooms used for conducting the affairs of a business, profession, service, industry, or government and generally furnished with desks, tables, files, and communications equipment.

**Research laboratories** – A facility for investigation into the natural, physical or social sciences, which may include engineering and product development.

**Restaurants** – An establishment where food and drink are prepared, served and consumed, mostly within the principal building.

**Retail sales and services** – Establishments engaged in the selling or rentals of goods or merchandise (usually to the general public for personal use or household consumption, although they may also serve business and institutional clients) and in rendering services incidental to the sale of such goods

**Spas** - A commercial establishment offering health and beauty treatment through such means as steam baths, exercise equipment, and massage.

**Sports facilities** - Enclosed areas of sports pavilions, stadiums, gymnasiums, health spas, boxing arenas, swimming pools, roller and ice rinks, billiard halls, bowling alleys, and other similar places where members of the general public assemble to engage in physical exercise, participate in athletic competition, or witness sporting events.

**Shopping centers** – A group of commercial establishments planned, constructed and managed as a total entity, with customer and employee parking provided on-site, provision for goods and delivery separated from customer access, aesthetic considerations and protections from the elements, and landscaping and signage according to approved plans.

## PLAN CONSISTENCY REVIEW

### Township Master Plan Consistency

The Redevelopment Law requires that the Redevelopment Plan define the Plan's relationship to local master plan goals and objectives such as appropriate land uses, population densities, improvements to traffic, public utilities, recreational and community facilities, and other improvements. The Redevelopment Law also requires that the Redevelopment Plan be substantially consistent with the municipal master plan or designed to effectuate the master plan.

The Township's Master Plan was adopted by the Andover Township Land Use Board on December 7, 1992, and a Master Plan amendment was adopted in October 2005. The 1992 Master Plan was then updated in July 2007, December 2008, and July 2011 to enhance and further the goals and objectives of the Township's changing land use and housing needs. The following Master Plan goals and objectives relate to the Redevelopment Area and further enhance the Land Use Goals of the Township of Andover's Master Plan.

- To protect and maintain the prevailing rural character and unique sense of place of the Township, which includes diverse residential neighborhoods, attractive nonresidential uses, scenic landscapes that result from the natural topography, agricultural lands, woodlands, and watercourses.
- To establish development densities and intensities at levels that do not exceed the carrying capacity of the natural environment and available infrastructure, both existing and planned.
- To provide a future land use pattern that serves the needs of the community for housing, community services, and a safe and healthful environment.
- To promote cooperation with neighboring municipalities in the region to advance consistent development and open space goals, policies and plans.
- To promote the goals and objectives of Andover Township through the incorporation of local policies and strategies that respond to the basic premises, intent, and purposes of the State Development and Redevelopment Plan and the Sussex County Strategic Growth Plan.
- To continue and expand upon land-use policies that promote controlled development at suitable locations by discouraging the extension of growth-inducing infrastructure into rural areas and exploring the possibility for a "hamlet" center.
- To provide for a reasonable balance among various land uses that respect and reflect upon the interaction and synergy of community life.
- To offer flexibility in developing techniques that recognize new approaches and technologies which are responsive to evolving demographic, economic and environmental needs.

The following Community Design Goals from the Master Plan support the undertaking of this Redevelopment Plan.

- To develop standards to ensure good visual quality and design for all land use categories.
- To ensure that new development is visually and functionally compatible with the physical characteristics of the Township.

- To provide for a proactive approach to physical design and community planning so that adjacent land uses function compatibly and harmoniously in terms of scale and location.
- To improve the visual and physical appearance of developed areas while protecting residential neighborhoods from encroachment by incompatible uses.
- To establish land-use policies and design standards that will enhance views along existing commercial corridors.
- To retain to the greatest extent practicable attractive vistas from public rights-of-way, including views of hills, valleys, ridgelines, woodlands, farmlands, hedgerows, stream corridors, flood plains, and other natural areas.

The redevelopment law requires that the redevelopment plan define the relationship of the Plan to the local master plan goals and objectives such as appropriate land use, population densities, improvements to traffic, public utilities, recreational, community facilities and other improvements.

This Redevelopment Plan is consistent with the above goals and objectives of the Township's Master Plan.

#### Local, Regional, and State Plan Consistency

The relationship of the Redevelopment Plan with surrounding communities' master plans is also reviewed to determine whether any significant relationship exists. Its relationship to the State Development and Redevelopment Plan must also be reviewed. The Plan Area is located along the Route 206 corridor and does border on Andover Borough and the Town of Newton.

The Redevelopment Plan is consistent with the Andover Borough Master Plan by providing for mixed-use commercial and non-residential uses along the Route 206 corridor where similar uses are permitted within the Borough of Andover. Likewise, the proposed Redevelopment Plan is consistent with the Newton Master Plan, which identifies mixed-use neighborhood commercial along Route 206 in the Town.

The Sussex County Strategic Growth Plan (SGP) divides the County into six (6) "landscapes," and the Route 206 corridor is classified as a "Job Creation Center" where a significant concentration of Job Creating facilities (including Commercial and Light Industrial) would be appropriate. The growth plan also focuses on providing incentives to develop along major corridors, like Route 206, in lieu of developing in areas which are not as readily accessible. This Redevelopment Plan is consistent with the Sussex County Strategic Growth Plan because it is planning for Job Creating businesses along a major transportation corridor in the County, which is designated by the County Plan for job creating businesses.

The Township overall falls within three (3) planning areas according to the State Plan. These areas include the Rural Planning Area (PA<sub>4</sub>), Rural/Environmentally Sensitive Planning Area (PA<sub>4b</sub>) and the Environmentally Sensitive Planning Area (PA<sub>5</sub>). The Redevelopment Area is in two (2) of three (3) planning areas, which includes the Rural Planning Area (PA<sub>5</sub>) and Rural/Environmentally Sensitive Planning Area (PA<sub>4b</sub>). The State Plan also discusses establishing and maintaining a regional network that facilitates multi-modal links to, from, around and between Centers, other compact communities and significant traffic generators such as employment centers. The State Plan also has a policy

recommendation to Design corridors, including rivers, greenways, transit and roadways, to connect communities in ways that preserve rights of way, protect viewsheds, and encourage gateways and distinct transitions between communities.

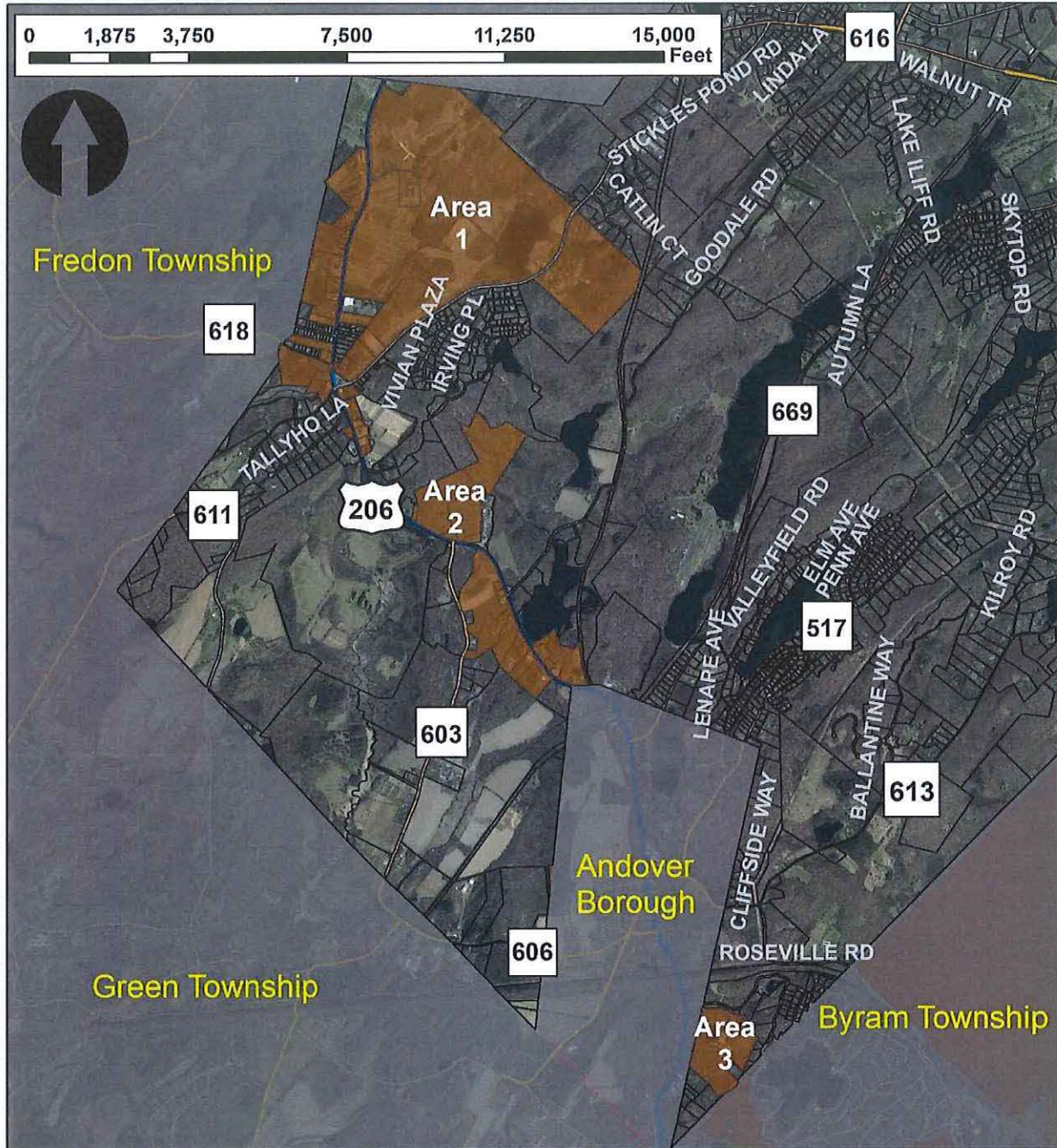
The State Plan also discusses the idea of centers and hamlets and notes that new Regional Centers should be in the State's major corridors and designed to organize growth that otherwise would sprawl throughout the corridor. The State Plan notes that Regional Center's should be compact and contain a mix of residential, commercial and office uses at an intensity that will make a variety of public transportation options feasible as the Centers are built out. New Regional Centers should also have a core of commercial activity, and the boundaries of the Centers should be well defined by open space or significant natural features, according to the State Plan.

Hamlets are the smallest places eligible for Center designation in the State Plan. Existing Hamlets are found primarily in rural areas, often at crossroads. Hamlets are not synonymous with conventional single-use residential subdivisions. Although Hamlets are primarily residential in character, they may have a small, compact Core offering limited convenience goods and community activities, such as a multi-purpose community building, a school, a house of worship, a tavern or luncheonette, a commons or similar land uses. The density of a Hamlet should conform to the carrying capacities of natural and built systems. While existing Hamlets presently have no public water or sewer system, if they are planned to accommodate new development, small-scale systems or potable water systems may be required and are encouraged. New development in existing and new Hamlets should absorb the development that otherwise would occur in the Environs. The amount or level of new development should conform to the capacities of natural resource and infrastructure systems that would exist in the absence of the water and sewer systems.


Route 206 is a major corridor for the region and connects multiple Designated Centers located in Sussex County and proper development of the area will strengthen its role towards facilitating multi-modal links and development. The development Plan Area provides an opportunity to create a new Hamlet Center within the Township. Given the constraints of the Planning Areas in the Township overall, the Plan Area provides an opportunity to work as either a regional center or a hamlet. As a result, the Redevelopment Plan is consistent with the State Development and Redevelopment Plan, Sussex County Strategic Growth Plan and Master Plans of the Town of Newton and Borough of Andover.



Redevelopment Plan Map

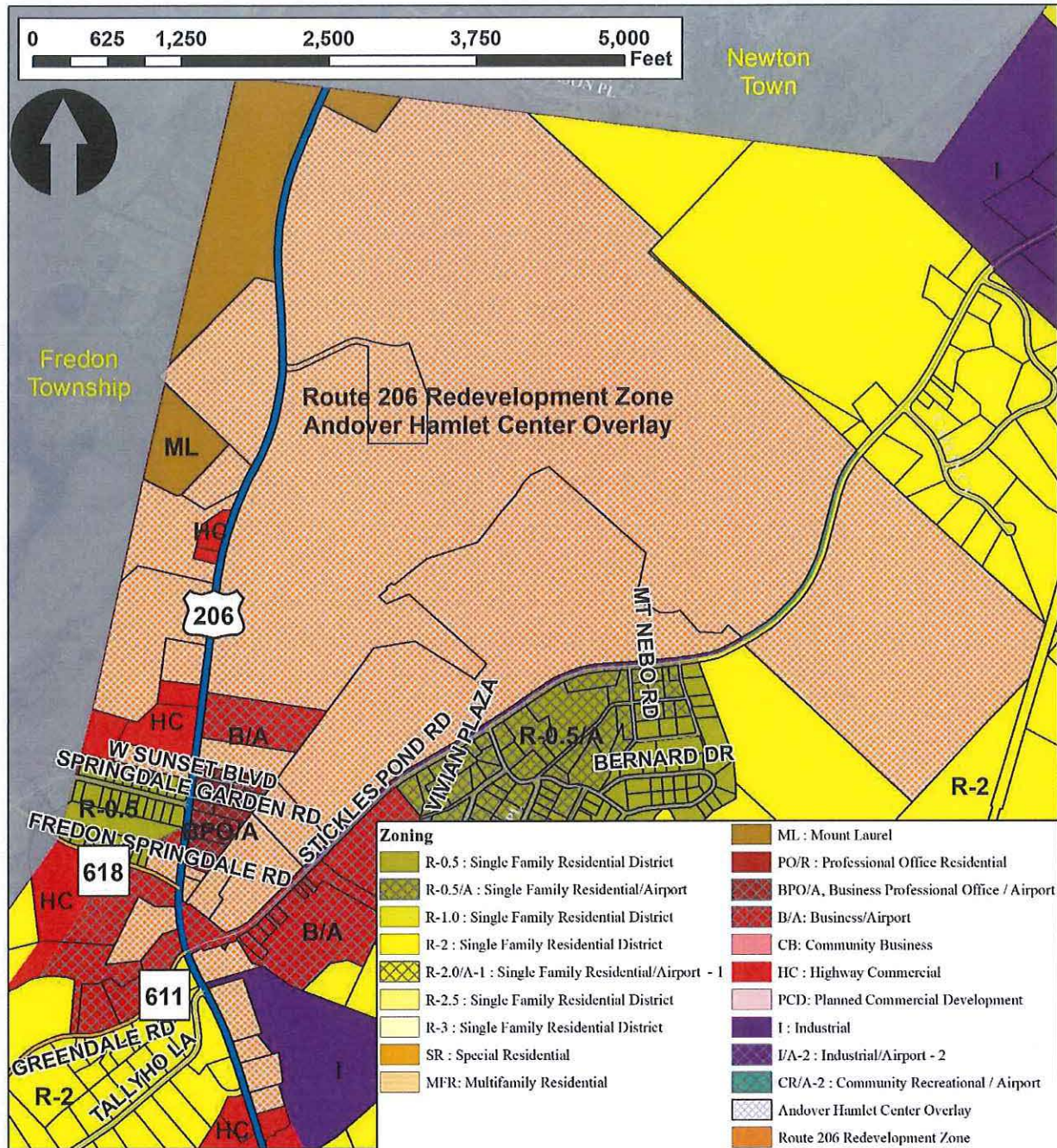


# Route 206 Redevelopment Plan

 Route 206 Redevelopment

Source: NJDEP 2020 High Resolution Orthophotography, NJOGIS

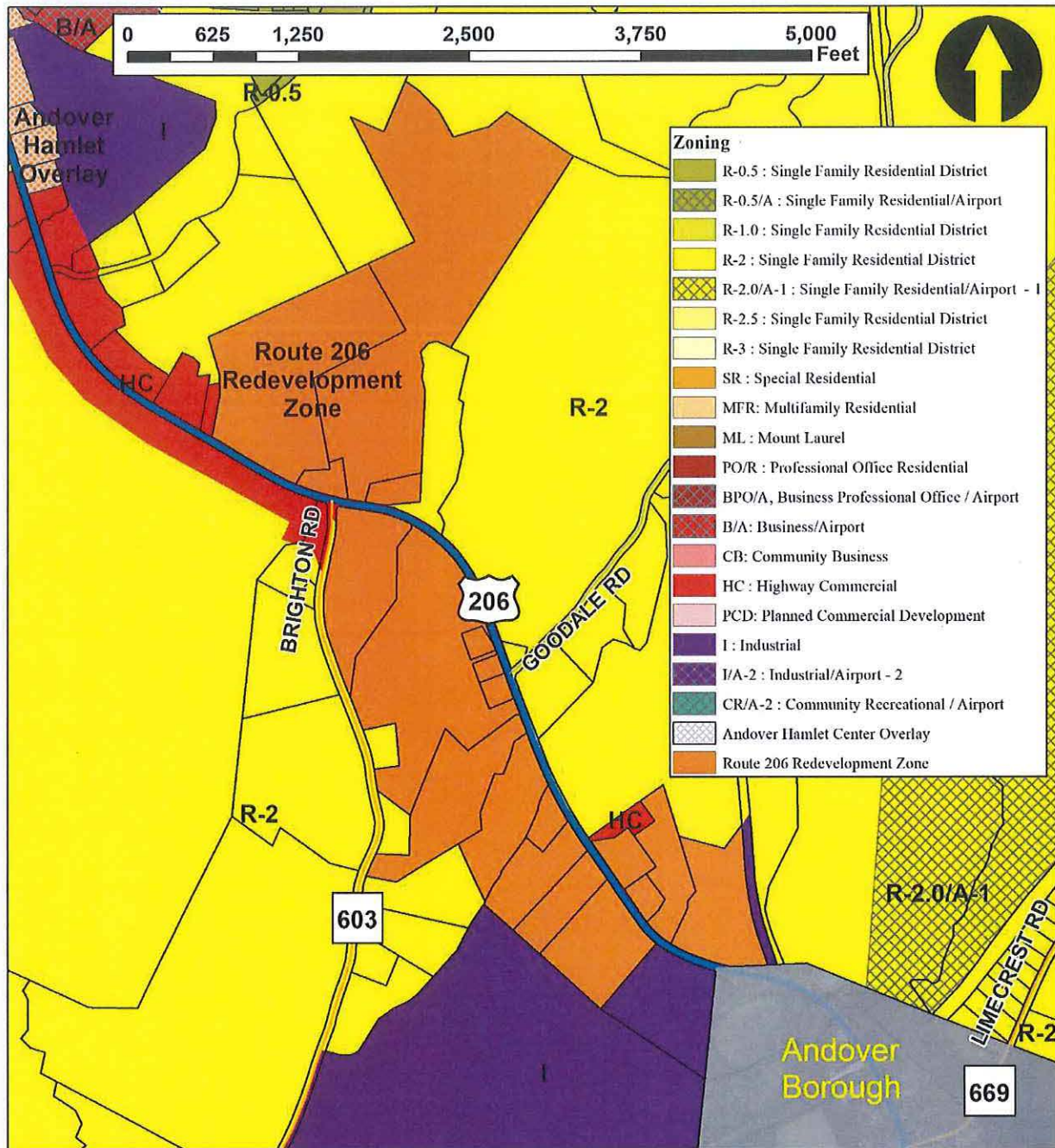




## Route 206 Redevelopment Zone - Area 1

Source: NJDEP 2020 High Resolution Orthophotography, NJOGIS

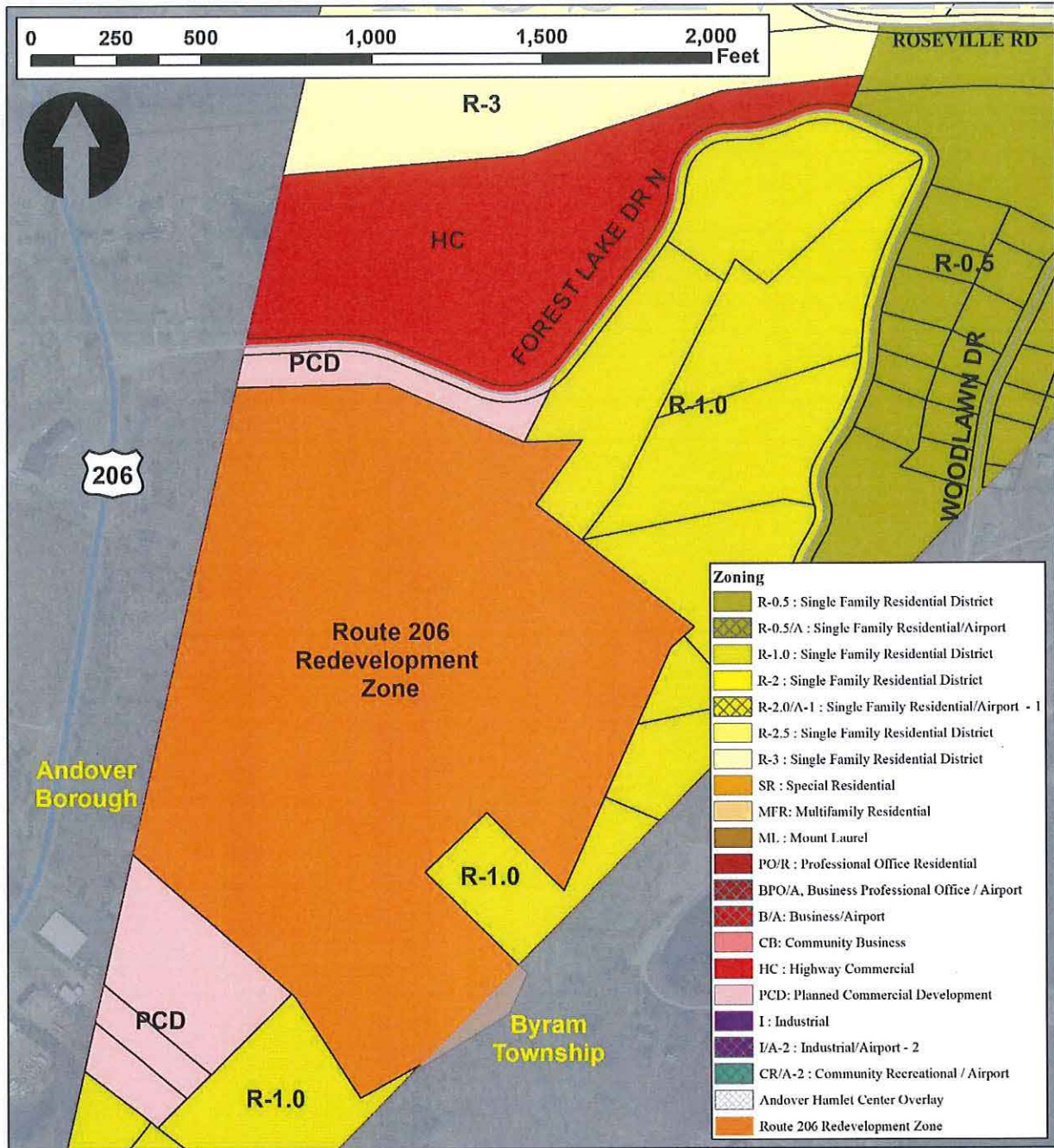




## Route 206 Redevelopment Zone - Area 2

Source: NJDEP 2020 High Resolution Orthophotography, NJOGIS





### Route 206 Redevelopment Zone - Area 3

Source: NJDEP 2020 High Resolution Orthophotography, NJOGIS



## APPLICATION OF REGULATIONS

The Township will accept proposals from Redevelopers, for all or portions of the Plan Area based on developer interest and ability to assemble parcels. The Redeveloper will acquire, or work with the Township to acquire, all or portions of the Plan Area to redevelop the Area according to the following land use regulations:

### REDEV Zone-- Route 206 Redevelopment Zone

#### Permitted Uses

Mixed-uses, multiple principal uses and multiple principal structures are permitted. The following uses and customary and incidental accessory uses are permitted in the Route 206 Redevelopment Area.

- a. Banks and fiduciary institutions
- b. Cannabis Marketplace Class 5 Retailer (Exclusively Permitted on Area 1 Properties South of Fredon Springdale Road/County Route 618 and All Area 2 Properties – see maps on pages 11 and 12)
- c. Commercial recreation
- d. Fast-food establishments
- e. Flex-space buildings
- f. Greenhouses and nurseries
- g. Health clubs and spas
- h. Hotels and motels
- i. Licensed Child-Care Centers
- j. Medical offices
- k. Professional, business and administrative offices
- l. Public parks, playgrounds, conservation areas and municipal/public facilities
- m. Research laboratories
- n. Restaurants and banquet facilities
- o. Retail sales and services
- p. Sports facilities
- q. Farm stands
- r. Single-family detached dwellings in existence on September 2, 2021 in accordance with the R-1 requirements
- s. Shopping centers
- t. Studios for the instruction of the arts, dancing, music, language or photography

#### Conditional Uses

- a. Agriculture, farm, or horticulture uses (§ 190-42)
- b. Animal hospitals and kennels (§ 190-49)
- c. Automobile repair services (§ 190-55)
- d. Country clubs, swim clubs and outdoor recreational facilities (§ 190-50)
- e. Cannabis Marketplaces Classes 1 – 4 (§ 190-120)
- f. Gasoline service stations (§ 190-52)
- g. Light manufacturing, fabricating and assembly plants subject to Article X Performance Standards

- h. Private housing for equine animals (§ 190-36)
- i. Public and Private Schools (§190-47)
- j. Riding academies and stables (§ 190-53)
- k. Wholesale establishments, warehouses and storehouses subject to Article X Performance Standards and for any § 190-54 as applicable

**Interim/Temporary Uses**

- a. Site preparation, soil movement, cut and fill in conjunction with an approved site plan.
- b. Parking as a principal permitted use.

**Prohibited Uses**

- a. Consumption of cannabis on the premises of any Cannabis Marketplace Class 5 Retailer located in the Route 206 Redevelopment Area.
- b. "Cannabis consumption areas," as defined by N.J.S.A. 24:6I-33, shall be prohibited throughout the Route 206 Redevelopment Area.

**Area and Bulk Requirements**

The following regulatory controls apply to properties located within the Route 206 Redevelopment Area:

<b>Principal Building Setbacks</b>	
<b>Minimum Lot Width</b>	100 feet
<b>Minimum Front Yard Setback</b>	20 feet
<b>Minimum Side Yard Setback</b>	10 feet
<b>Minimum Rear Yard Setback</b>	20
<b>Maximum Building Height</b>	3 Stories/50 feet
<b>Maximum Impervious Coverage</b>	75%
<b>Maximum Building Coverage</b>	50%

<b>Minimum Accessory Building Setbacks</b>	Front Yard	20 feet
	Side Yard	5 feet
	Rear Yard	10 feet

## AHCO – Andover Hamlet Center Overlay

There are several properties within the Redevelopment Area, specifically in the area of the Saint Paul's Abbey Properties, that according to the 2011 Master Plan Reexamination are feasible for constructing higher density housing to accommodate affordable housing obligations. These properties also present unique opportunities to develop a hamlet center with a mix of residential uses along with commercial/retail and office uses. Development in this AHCO Zone should include a mandatory 15-20% set-aside for affordable housing. These properties may utilize the Route 206 Redevelopment Area Zone provisions or may utilize the Andover Hamlet Center Overlay standards listed below if centralized wastewater treatment and disposal is provided. The following is a list of tax lots in the AHCO – Andover Hamlet Center Overlay:

- Block 134, Lot 16.02
- Block 134, Lot 17.02
- Block 134, Lot 17.06
- Block 134, Lot 17.08
- Block 134, Lot 17.12
- Block 134, Lot 33
- Block 151, Lot 2
- Block 151, Lot 3
- Block 151, Lot 16
- Block 151 Lot 18
- Block 151, lot 19
- Block 151, Lot 20
- Block 151, Lot 21
- Block 151, Lot 22
- Block 151, Lot 22.02
- Block 153, Lot 21
- Block 153, Lot 25
- Block 153, Lot 26
- Block 153, Lot 27
- Block 153, Lot 32
- Block 153, Lot 35
- Block 154, Lot 47
- Block 155, Lot 5.01

### Applicability

The AHCO Overlay applies to the lots noted above subject to access to a centralized wastewater treatment and disposal facility being provided.

### Permitted Uses

Mixed-uses, multiple principal uses and multiple principal structures are permitted. The following uses and customary and incidental accessory uses are permitted in the AHCO – Andover Hamlet Center Overlay:

- a. Banks and fiduciary institutions
- b. Duplexes
- c. Health clubs and spas
- d. Hotels/motels
- e. Live/work
- f. Medical offices
- g. Mixed-use buildings with multifamily residential located above the first floor permitted non-residential uses
- h. Multifamily residential
- i. Preschools and childcare facilities
- j. Professional, Business and Administrative offices
- k. Restaurants and banquet facilities

- l. Retail sales and services
- m. Sewer and water utilities
- n. Single-family Residential (minimum 5,000 square foot lot size)
- o. Studios for the instruction of the arts, dancing, music, language or photography
- p. Townhouses

Conditional Uses

- a. Home occupations (§ 190-45)

Area and Bulk Requirements

The following bulk standards apply as an overlay zone to properties located within the Andover Hamlet Center Overlay:

**AHCO BULK STANDARDS TABLE**

<b>Building Configuration</b>	Principal Building	3 Stories / 50 feet maximum
	Accessory Building	2 Stories / 25 feet maximum
<b>Lot Occupation</b>	Lot Width	20 feet minimum
	Lot Coverage	75% maximum
<b>Lot Area</b>	Single Family Residential	5,000 square foot minimum
	Commercial/Mixed Use/ Multi-Family Residential	No minimum
<b>Residential Density</b>	85% of gross lot area	Max. 8 du/acre
	15% of gross lot area	Max. 12 du/acre
<b>Affordable Housing Requirements</b>	Minimum Set Aside	15% for rental residential 20% for for-sale residential
<b>Commercial / Mixed Use Setbacks</b>	Front Yard Primary	20 feet minimum
	Front Yard Secondary	10 feet minimum
	Side Yard	20 Feet minimum
	Rear Yard	30 Feet minimum
<b>Residential Setbacks</b>	Front Yard Primary	20 feet minimum
	Front Yard Secondary	20 feet minimum
	Side Yard	15 feet minimum
	Rear Yard	30 feet minimum
<b>Accessory Building Setback</b>	Front Yard	20 feet
	Side Yard	5 feet minimum or 10 feet at corner
	Rear Yard	5 feet minimum

Affordable Housing Requirements

The Township of Andover has previously designated the area around the Saint Paul’s Abbey Property as appropriate to construct affordable housing. As a result, an affordable housing set-aside within the Hamlet Center will provide for a mix of housing choices within the Township. Any housing proposed within the Hamlet Center that results in a density of more than six (6) units per acre and a total of six (6) or more units shall provide a 15 percent set-aside for affordable rental housing and a 20 percent set-aside for affordable for-sale housing. Those units shall meet all state and local standards in place at the time of development.



## Standards for the Route 206 Redevelopment Zone and AHCO Zone

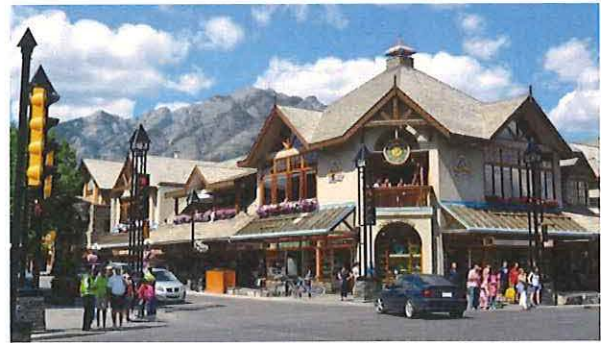
Properties developed under the Route 206 Redevelopment Zone and Hamlet Center Overlay Zone standards shall be subject to the standards of this Plan for building design, parking, lighting, landscaping and other site plan standards. Where conflicts exist, this Plan supersedes the Zoning Ordinance.

### Design Standards

Aesthetic design standards shall apply to all minor, preliminary and final major site plans.

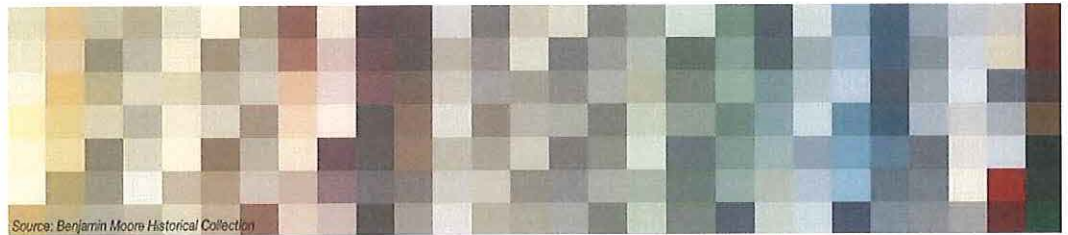
1. Architectural and building attributes.
  - a. Buildings shall be designed to evoke the architectural attributes of Rural Colonial Farm and Mountain Lake architecture and/or existing architecturally significant buildings in the Township.
  - b. The building mass, footprint and architecture shall be designed to create an attractive visual presence at a pedestrian scale. All sides of a building visible from a street or parking area shall be "finished" with architectural features.
  - c. The following photographs of buildings in the Township along Route 206 and the area represent architectural and design elements that are desired in the Redevelopment Area:





## d. Building materials and colors:

- i. All building materials and colors used on the exterior of a building shall be compatible with its overall design. Wood clapboard, or manufactured equivalent, is recommended. Natural wood or cedar shake siding is also recommended. Natural or cultured stone is recommended as a primary accent material especially for building foundations, decorative piers and columns. Textured wood siding is recommended. Textured vinyl, cement fiber materials and brick are permitted. Aluminum siding, non-decorative concrete block and other similar materials are prohibited. Stucco or stucco like products may be used only as an accent material and not encompass more than 40 percent of the wall surface.
- ii. Building colors shall utilize historic paint color palettes, such as Sherwin-Williams Historic Paint Collection or Benjamin Moore's Historical Collection (shown below). Building colors shall include a base color, complementary trim colors, and accent colors for doors and shutters.



- iii. Buildings with multiple storefronts shall include variations in roofline and building height to define the individual stores within a building block.
- iv. Buildings with multiple storefronts shall be unified using architecturally compatible styles, materials, colors, details, awnings, signage and lighting fixtures on all storefronts.
- v. Changes in building material should occur at a logical place such as a change in building mass, roof or an inside corner.

## e. Building walls

- i. Blank, windowless walls are discouraged. The façade shall be broken up into sections or bays to provide variety and interest. Columns, recesses and variations in the rooflines shall be used to break up the wall of the building into smaller sections. Variations in buildings, materials, patterns and colors shall also be used to differentiate the building wall. Landscaping may also be used to break up a wall area; however, building material variations should be the primary method for adding interest to the building.
- ii. Building facades shall provide unified design with a clearly defined building entrance. Recessed entrances are encouraged similar to those on older commercial buildings. Columns, awnings, canopies and pilasters can be used to

define the entryway. Doors and window trim shall be used to highlight these features.

- iii. The architectural treatment of the front façade shall continue around all visible exposed sides of the building. Each façade of a building shall be consistent in style, materials, colors and details. Buildings shall have a defined base and cap. The base may align with the windowsill level of the first floor, the foundation edge, or the ground with foundation plantings. The cap of the building includes the building cornice, parapet or eaves at the top of the building wall.
- f. Roofs and roof material.
- i. Roofs shall be designed to reflect the style of the existing historic structures in terms of pitch and material. They shall be compatible with the building's architecture and complementary to adjoining structures. Roof offsets, dormers and gables are encouraged. Architectural embellishments including towers, cupolas, chimneys, dormers and cross gables can be used to break up large roof masses and add visual interest.
  - ii. Roofs shall be designed to screen any proposed rooftop service equipment.
  - iii. Roof materials for visible roofs shall include metal, textured asphalt shingles, slate, slate-like tiles or wood shingles in tones compatible with the architecture of the building.
- g. Windows.
- i. The first-floor windows of commercial uses shall be transparent to encourage pedestrian activity. A minimum of 50% of the front façade shall be transparent. On corner lots each façade facing the street shall be 50% transparent respectively. On the upper floors a minimum of 30% of the front facade shall be transparent or glazed.
  - ii. Windows arrangement shall be in a unified pattern with windows in the upper level vertically aligned with windows and doors on the ground level. The window locations and rooflines shall be compatible with adjoining building bays and adjacent buildings.
- h. Building location and orientation.
- i. The buildings shall be located towards and relate to public streets, both functionally and visually.
  - ii. In a multiple building development, the buildings shall be organized, to the extent possible, around features such as courtyards, quadrangles and alleys, which

encourage pedestrian activity and incidental social interaction among users. Smaller, individualized groupings of buildings are encouraged.

i. Service equipment.

- i. All air conditioning units, HVAC systems, exhaust pipes or stacks, elevator housing, satellite dishes and other telecommunications receiving devices shall be screened from public view using walls, roof elements or other such screening devices, designed to be architecturally compatible with the building's style, materials, colors and details.

In buildings requiring a second means of egress pursuant to Uniform Construction Code, internal stairs or other routes of egress are preferred. Only in exceptional circumstances shall an attached external fire escape be permitted as one of the required means of egress and only if located, on a building's rear or side elevation.

j. Outdoor seating (sidewalk cafes) and sidewalk displays.

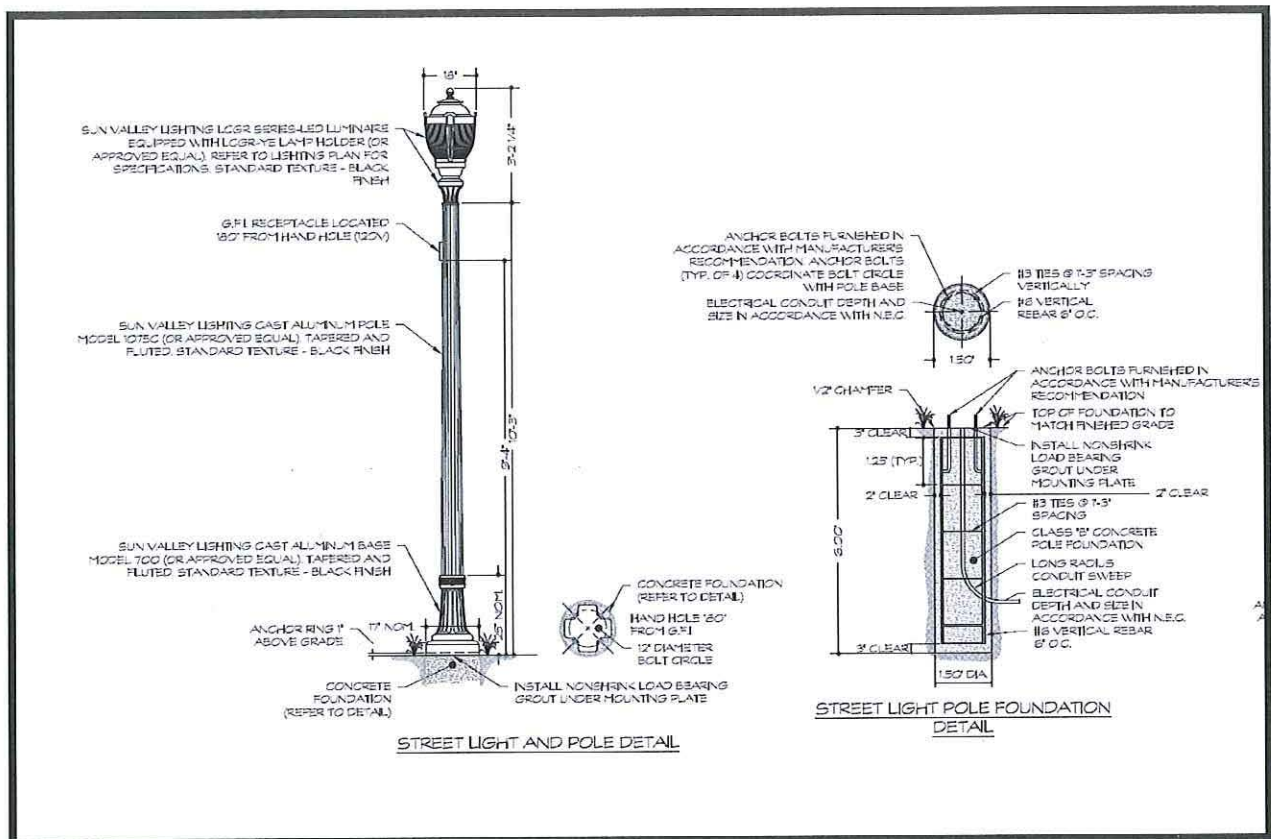
- i. Outdoor seating, where permitted, may be located on sidewalks, plazas, and courtyards, provided pedestrian circulation or access to store entrances are not impaired.
- ii. Removable enclosures are encouraged and should be used as a way of defining the area occupied by the outdoor seating. Extended cloth or canvas awnings, colorful canopies or large umbrellas are also recommended as a way to define an outdoor seating area.
- iii. Sidewalk displays, limited to the premises from which items are being sold, are permitted directly in front of the establishment along the sidewalk, provided at least six feet (6ft) of clearance is maintained at the storefront entrance and at least four (4 ft) feet of sidewalk is maintained for pedestrians.

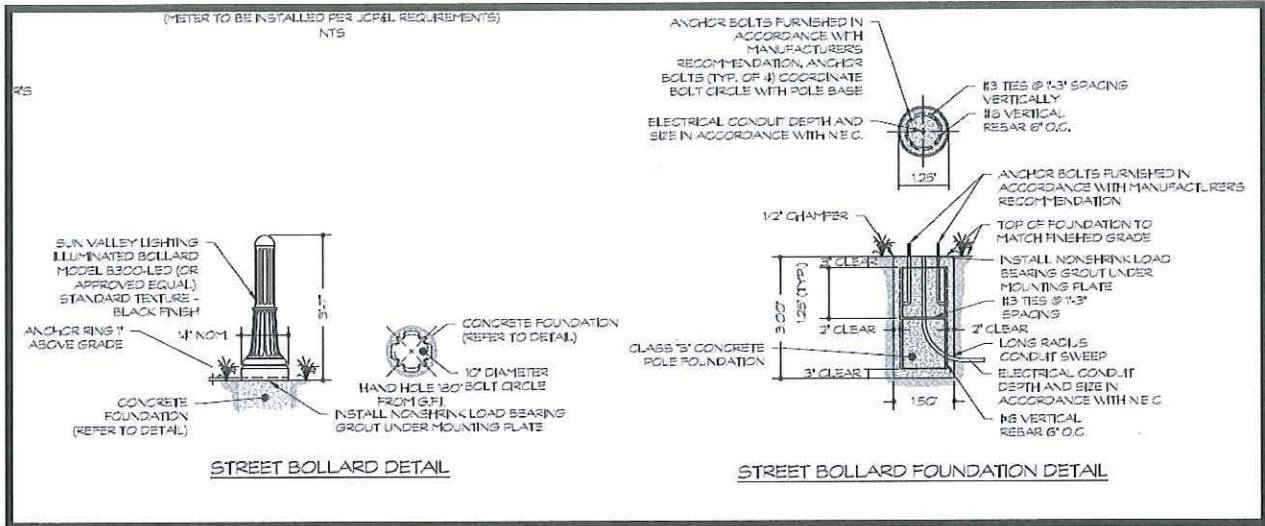
k. Awnings.

- i. Fixed or retractable awnings are permitted at ground floor level and on upper levels where appropriate. Awnings should be compatible to the building's architectural style in terms of color, materials and style and should not conceal architectural features on the building such as decorative columns, pilasters, cornices or decorative details. They should be designed so as not to impair façade composition and to work within the building façade's subdivision.
- ii. Canvas or metal awnings are preferred, although other waterproofed fabrics or materials may be considered. Solid or striped patterns are preferred. Colors of awnings shall be compatible with building and sign colors
- iii. In a building with multiple storefronts, compatible awnings with similar styles or colors should be used as a means of unifying the structure.

2. Lighting.

- a. Street lighting is required along street frontages. Street lighting and streetscape amenities shall match the standards of the Township Code and blend with the architectural style of the community. See details below.
- b. A lighting plan providing a maximum of 0.5 foot-candle for streets, sidewalks and parking areas shall be provided, consistent with the Township Lighting Standards in §131-38.
- c. Lighting shall be shielded to prevent glare and off-site light pollution.
- d. The use of creative lighting schemes to highlight building facades and related areas of a site is encouraged.





LUMINAIRE SCHEDULE									
SYMBOL	LABEL	QTY	CATALOG NUMBER	DESCRIPTION	LAMP	FILE	LUMENS	LLF	WATTS
•	B	10	SUN ALLEY BOLLARD BSEL CAP WA 2ILED	BSEL-CAP-WA-2ILED- NW-VR-SY-1 POWER ARRAY WITH GRAL ACRYLIC LENS	100 LAMP LUMENS AT 85°C	BSEL-CAP-WA-2ILED- NW/ea	ABSOLUTE	0.81	2840
⊙	A	8	SUN VALLEY LGG-GRV-3-3ILED-N W/SS POST TOP ACORN 8" TYPE II PRISMATIC GLASS REFLECTOR	38 LED VERTICAL POWER ARRAY WITH CLEAR PRISMATIC LENS 525 MA DRIVE CURRENT - 58 INPUT WATTS	LGG-GRV-3-3ILED-NV 525/ea	ABSOLUTE	0.81	58	

2. Landscaping.

- a. Landscaping shall be provided to promote a desirable and cohesive natural environment for residents, downtown patrons, employees, passing motorists and visitors. Landscaping must also be utilized to screen parking and loading areas, provide windbreaks for winter winds and summer cooling for building, streets, and parking.
- b. Ornamental trees should be provided throughout the Route 206 Redevelopment Area, particularly at key locations such as site entrances and along existing roadway frontages.
- c. Hedges, shrubs, and ground cover must be used to define space and provide privacy. Foundation plantings should include evergreen and deciduous shrubs.
- d. Landscape plantings should complement the building and emphasize important features.
- e. All landscaping must have a two-year maintenance guarantee. If any planting material dies within two years of planting, it must be replaced by the following planting season.
- f. The use of planters, window flower boxes and hanging baskets is encouraged to provide seasonal color.
- g. The use of landscaping, plants and trees which are native to the township
- h. Existing healthy and mature trees should be retained and incorporated into the landscape plan, wherever possible.
- i. The landscaping shall be integrated with other site design features such as walkways, paths, gazebos, fountains, street furniture and public art.
- j. Street trees, a minimum of 2.5-inches caliper at the time of planting, shall be planted along street frontages. The bottom branches shall be trimmed to a minimum of seven feet (7 ft) from the ground to allow pedestrian passage. Tree spacing shall be generally 35-40 feet apart with variation for driveways, lighting and other streetscape features.

3. Buffer and screening requirements.
  - a. The applicant shall buffer or screen property lines adjacent to existing residential properties.
  - b. The buffer shall be planted with a mix of evergreen and deciduous trees and shrubs to provide a year-round natural looking screen.
  - c. Fences and walls shall not exceed six feet (6 ft) in height above ground level.
  - d. The finished side of a fence must face adjoining properties. Fence posts that are unfinished and any other structural component of the fence must be installed facing the subject property rather than the adjoining property.
  - e. Dumpsters must be fully screened from view with a screening fence or wall.
4. Pedestrian and bicycle access and circulation.
  - a. Sidewalks must be provided along all street frontages and must be a minimum of six feet (6 ft) wide (including a two-foot paver strip) on Route 206 and a minimum of four feet (4 ft) wide on other street frontages to provide safe and convenient movement for pedestrians. Below is an example of pedestrian space.



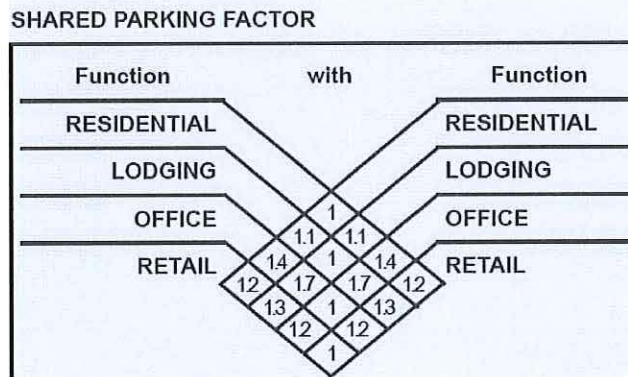
- i. Pedestrian-only sidewalks along building frontages must be at least six feet (6 ft) wide. Other sidewalk areas must be at least four feet (4 ft) in width to provide for the safe and convenient movement of pedestrians.
- ii. All building entrances must provide pedestrian access to adjacent streets and parking areas.
- iii. Crosswalks shall be provided to connect sidewalks and pedestrian areas. Crosswalks shall be constructed according to requirements as defined in Chapter 155 Streets and Sidewalks Attachment 155a Min Road Design Standards. The Land Use Board may require brick crosswalks to be installed if it deems them necessary for pedestrian safety and to improve the visual appearance of the area.



- b. Bicycle access and parking should be considered as part of the development. At least one bike rack capable of holding at least three (3) bicycles should be provided per parking area.
- c. Electric vehicle charging stations should be provided as required by State law in parking areas to promote maximum usage while minimizing interference with parking and circulation.

**Parking Standards**

To promote more efficient use of parking facilities, a parking space may be counted towards the parking requirement for two or more different uses provided that the parking is within 250 feet of the uses and the use is on the shared parking factor table. The shared parking factor illustration below shows how shared parking can be calculated for two uses within the same vicinity of one parking area. The shared parking factor is used by adding together the parking area. The shared parking factor is used by adding together the parking requirement for each function then dividing it by the shared factor. For instance, if a residential use requires 10 spaces and retail use requires 10 spaces, the total number of 20 spaces is divided by the shared parking factor of 1.2, yielding a requirement of 17 spaces. The shared parking factor should be utilized for uses in adjacent blocks within the proximity of a shared lot. When three functions share parking, the lowest factor should be used to assure enough parking is provided.



The number of parking spaces required per use in the Route 206 Redevelopment Area are as displayed on the table below:

<b>Hotel/Motel</b>	1.0 space per room
<b>Office</b>	1.0 per 250 square feet
<b>Retail</b>	1.0 per 350 square feet
<b>Restaurant</b>	1.0 per 4.0 seats
<b>Other Uses</b>	1.0 per 350 square feet
<b>Residential</b>	RSIS Standards

#### Parking Location:

1. A minimum of 65 percent of the required off-street parking shall be located at the rear or side of the building. Up to 35 percent of the required parking may be in the front of the building if screened from the street.
2. Parking shall be setback a minimum of five (5) feet from building facade.

#### Parking Layout:

1. Parking lots shall be limited in size where possible and interconnected with commercial parking lots of adjacent properties. Shared parking areas and shared driveways are encouraged. Cross access easements for adjacent lots with interconnected parking lots are encouraged.
2. Parking lot design shall consider pedestrian circulation. Pedestrian crosswalks shall be provided and linked to the wider pedestrian network. Pavement textures shall be required on pedestrian access ways, and strongly encouraged elsewhere in the parking lot, as surfacing materials, or when used as accents.
3. Parking lots shall meet New Jersey ADA requirements for handicapped parking.

Parking lots shall be suitably landscaped to provide shade and visual relief. At least one shade tree a minimum of two and a half inches (2.5") caliper in size shall be provided for every ten (10) cars in the parking lot. At least ten (10%) percent of the lot shall be green. As stonewall or evergreen hedge at least four (4) feet in height shall be used to parking along the lot line. The perimeter edge of the parking lot shall be planted with evergreen hedges, shade screens, shrubs, and related covers.

Electric vehicle charging stations shall be required pursuant to State Law.

All other regulations regarding parking standards are provided in Section 190-156 through Section 190-164 Parking and Loading Requirements. In the event of a conflict between the above-referenced sections and the Plan, the Plan shall control.

#### Screening Requirements

1. Loading and service areas, trash receptacles and utility boxes should be placed in visually unobtrusive locations in the side or rear of the buildings. The service areas should be integrated with the building design.
2. Screening should be provided to block direct views into these areas. A solid wall with a minimum of six (6) feet in height and constructed of stone or similar material compatible to the building should be used to screen trash and service areas.
3. Property owners and businesses are encouraged to consolidate and share refuse areas and equipment.
4. Chain link fencing including the use of wood or plastic slats and wood stockade fencing is prohibited for screening trash and service areas.

5. Walls and fences in all public areas are to be constructed to match the architectural detail of the principal structure and should not be located adjacent to a residential property.
6. Fences and screen walls shall be limited to a maximum height of four (4) feet except they must be six (6) feet in height when used as a buffer for service area enclosures.

### Mobility Regulations

Thoroughfares are an important aspect of public space. The design and access to streets and sidewalks in the Plan Area plays a key role in forming this sense of place for the neighborhood and the Route 206 Redevelopment District.

1. Access driveways and automobile circulation:
  - a. Appropriate traffic control signs must be installed to ensure the safe flow of traffic into and through the redeveloped area.
  - b. Access configurations shall be designed to meet projected vehicular traffic and circulation needs.
2. Pedestrian circulation:
  - a. Sidewalks shall be provided where pedestrian circulation is anticipated and be wide enough to handle pedestrians and accommodate benches, planters, street trees and streetlights.
  - b. Sidewalks in the Route 206 Redevelopment Area shall be a minimum of six (6) feet wide. A minimum two (2) feet wide brick paver strip shall be constructed between the curb and the sidewalk. Walkways shall be raised and curbed along buildings and within parking lots, where suitable.
  - c. Barrier-free walkway systems shall be provided to allow pedestrian access to buildings or uses from parking lots and public sidewalks.
  - d. To promote pedestrian mobility, outdoor cafes are permitted on sidewalks, plazas, and courtyards, provided pedestrian circulation or access to store entrances is not impaired.
  - e. All building entrances must provide pedestrian access to adjacent streets and parking areas.
  - f. Sidewalk displays are permitted directly in front of an establishment along the sidewalk, provided at least six (6) feet of clearance is maintained at the storefront entrances and at least four (4) feet of sidewalk is maintained for pedestrians. Displays are permitted in the rear and side yards of the premises, if it is temporary, defined as being readily removed and is not a permanent fixture, attractive and may not generally exceed six feet (6) in height.
3. Streetscape, Sidewalks, Crosswalks and Public Spaces:
  - a. Where not existing already, streetscape improvements shall be constructed along the road frontage of every lot proposed for development in the Route 206 Redevelopment

Area. The streetscape shall include landscaped areas and street trees. Where pedestrian circulation is anticipated, sidewalks, streetlights, and street furniture shall also be provided.

- b. Sidewalks shall be wide enough to handle pedestrians and accommodate benches, planters, and street trees lights. Sidewalks shall be a minimum of six feet (6') wide, which may be a combination of a four foot (4') wide sidewalk and two foot (2') wide brick paver strip. A minimum two foot (2') wide brick paver strip shall be constructed between the curb and the sidewalk. Walkways shall be raised and curbed along buildings and within parking lots, where suitable.
- c. Asphalt and non-aggregate exposed concrete slabs, clay brick, and decorative concrete pavers are permitted and shall provide a flat walking surface.
- d. Decorative crosswalks shall be used to connect the public walkway system and help slow down traffic to create a pedestrian friendly environment.

### Signage

Sign standards for the Redevelopment Plan are regulated by Section 190:87-96 of the Township Code.

### Ordinance Standards Applicable

Article X Performance Standards, Article XII Fences, Article XIII Affordable Housing and Article XVI Wind and Solar Energy Systems of the Township Code, to the extent that they do not conflict with the standards in this Redevelopment shall apply. Section 190-19 Commercial Vehicles and 190-21 Outdoor Storage apply. Section 190-22 Prohibited Uses apply to the extent that it does not conflict with provisions in this Plan.

### Submittal Requirements

Redeveloper(s) shall submit a site plan application to the Township Land Use Board for each proposed redevelopment within the Plan Area. The site plan approval process will occur as per the Land Use Board's site plan review requirements.

## LEGAL PROVISIONS

### The Validity of the Plan

If any section, subsection, paragraph, division, subdivision, clause or provision of this Plan is deemed by a court of competent jurisdiction to be invalid, such adjunction will only apply to the particular section, subsection, paragraph, division, subdivision, clause, provision in question, and the balance of the Plan will be adjudged valid and effective.

### Zoning Map Revisions

Upon final adoption of this Redevelopment Plan by the Township Council, the Zoning Map of the Township of Andover is hereby amended and must be revised to show the boundaries of the Route 206 Redevelopment Area and identify the district as the "Route 206 Redevelopment Area". All provisions of this Plan will supersede all provisions of the Andover Zoning Ordinance for the Plan Area. Any zoning-related issue that is not addressed herein will refer to the Andover Zoning Ordinance for guidance. No variance from the requirements herein will be cognizable by the Zoning Board of Adjustment. The Land

Use Board, acting as the Planning Board, will have the authority to grant deviations from the requirements of this Plan, as provided herein.

#### Amendments to the Route 206 Redevelopment Area Plan

The Route 206 Redevelopment Area Plan may be amended from time to time in compliance with the requirements of the Local Redevelopment & Housing Law.

As development occurs within the Area, development priorities and market demands may change. This Plan should have the adaptability to meet the changing needs of market demand, the Township of Andover and its citizens. Amendments may be required in order to accommodate these changes.

#### Variations in Site Plan Design

Modifications from standards that are expressly stated to be “mandatory” under the Land Use Regulations of this Plan, may be approved by the Planning Board only by formal grant of a deviation as provided.

The Land Use Board may grant deviations from the regulations contained within the Plan, where by reason of exceptional narrowness, shallowness, or shape of a specific piece of property, or by reason of exceptional topographic conditions, pre-existing structure, or physical features uniquely affecting a specific piece of property, the strict application of any area, yard, bulk, or design objective or regulation adopted pursuant to this Plan, would result in peculiar and exceptional practical difficulties to, or exceptional and undue hardship upon, the owner of such property. The Land Use Board may also grant a deviation from the regulations within this Plan related to a specific piece of property where the purposes of this Plan would be advanced by such deviation from the strict application of the requirements of this plan, and the benefits of granting the deviation would outweigh any detriments. The Land Use Board may grant exceptions or waivers from design standards, from the requirements for site plan or subdivision approval as may be reasonable and within the general purpose and intent of the provisions for site plan review and/or subdivision approval within this Plan, if the literal enforcement of one or more provisions of the Plan is impracticable or would exact undue hardship because of peculiar conditions pertaining to the site. No deviations may be granted under the terms of this section unless such deviations can be granted without resulting in substantial detriment to the public good and will not substantially impair the intent and purpose of this Plan.

An application requesting deviation from the requirements of this Plan must provide a public notice of such application in accordance with the public notice requirements set forth in N.J.S.A. 40:55D-12.a. & b.

No deviations may be granted which will result in permitting:

1. A use or principal structure not permitted in this Plan [N.J.S.A. 40:55D-70.d(1)].
2. An expansion of a nonconforming use [N.J.S.A. 40:55D-70.d(2)]; and
3. An increase in the permitted residential density greater than permitted by the Plan [N.J.S.A. 40:55D-70.d(5)].
4. An increase in height of a principal structure which exceeds by ten (10) feet or ten (10%) percent the maximum height permitted in this Plan [N.J.S.A. 40:55D-70.d(6)]

Deviations from conditional use standards may be granted by the Land Use Board pursuant to the standards of N.J.S.A. 40:55D-70.d(3). Any party seeking a deviation from this Plan which cannot be

granted by the Land Use Board as set forth above may apply to the Governing Body to request an amendment to this Plan or request a property specific plan within the Redevelopment Area.

## ACQUISITION PLAN

There is no property acquisition by the Township anticipated by this Plan.

## RELOCATION PLAN

Because there is no property acquisition by the Township anticipated for this Plan, no Relocation Plan is necessary.

## PARCELS WITHIN ROUTE 206 REDEVELOPMENT AREA

BLOCK	LOT	PROPERTY ADDRESS	ACREAGE	OWNER NAME
134	16.02	483 RT 206	2.31	GOLDEN, DANIEL E C/O SAFELITE GLASS
134	17.02	519 RT 206	1.53	HARMONY LODGE TRUSTEES
134	17.06	515 RT 206	1.09	515 ROUTE 206 ANDOVER NJ, LLC
134	17.08	521,523 TO 531 RT 206 S	1.13	BIG A PROPERTY HOLDING-104 PARK AVE
134	17.12	505 RT 206 N	2.85	WORTH, ROBERT C
134	22	641 RT 206 S	25.6	DICKMAN, STEVEN & SCOTT
134	25.01	661 RT 206 S	1.37	MESHEFSKY, STEPHEN J
134	25.02	665 RT 206	50.26	KREYE, SIEGFRIED & MARY ELLEN
134	26	667 RT 206	1.47	PETER, RICHARD K JR ET AL
134	33	STICKLES POND RD	67	ST PAULS ABBEY
151	2	473 RT 206	0.46	DECARLO, KIM
151	3	471 RT 206	0.35	TERWILLIGER, ROGER & ADONA
151	16	453 & 451 RT 206	4.28	ONEWAY FOCUSED HOLDINGS, LLC
151	18	314 STICKLES POND RD	2.22	LAYTON, KATHERINE
151	19	310 STICKLES POND RD	8.88	JUMP, RICHARD
151	20	290 STICKLES POND RD	4.88	290 STICKLES POND ROAD, LLC
151	21	248 STICKLES POND RD	86.84	PUBLIC SERVICE ELECTRIC & GAS CO
151	22	RT 206	331.81	ST PAULS ABBEY
151	22.02	293 RT 206	9.01	ST PAULS ABBEY, INC
153	21	454 RT 206 SO	2.75	ASAMA PROPERTIES, LLC
153	25	420 RT 206 SO	2.48	DEPERALTA, ALEX G
153	26	412 RT 206 SO	16.46	SMITH, HENRIETTA C TST ET AL
153	27	408 RT 206	9.57	SMITH, HENRIETTA C TST ET AL
153	32	380 RT 206	3.75	TASCH, ALICIA A & JANET F
153	35	RT 206	21.01	ST PAULS ABBEY
154	47	468, 468A, 470 RT 206 SO	1.4	ALEX & CHRIS REALTY, LLC
155	5.01	474-476 RT 206 SO	4.5	TSITSIRAGOS, MARIA
158	1	698 RT 206 SO	0.92	698 ROUTE 206 SOUTH, LLC
158	2	692 RT 206 SO	0.69	ACQUAVELLA, MICHAEL

BLOCK	LOT	PROPERTY ADDRESS	ACREAGE	OWNER NAME
158	3	690 RT 206 SO	0.5	TORNILLO, CHRISTOPHER J
158	6	662 RT 206 SO	10.51	COBA, INC %TD BANK NA
158	10	RT 206	26.71	TORNILLO, CHRISTOPHER J & JAMES C
158	14.01	708 RT 206	8.31	HARI-OM, LLC
158	14.02	706 RT 206 SO	12.05	RYDER, KATHY
159	1.03	719 & 717 RT 206	2.25	JK SERVICE DEVELOPMENT, LLC
159	2	727 RT 206	5.45	FRANK & DAUGHTERS C/O D. BOFFA
159	4	733 RT 206	8.53	GEISELHART, ERWIN & MARTHA
159	7	723 RT 206	1.19	ANDOVER REALTY ASSOCIATES, LLC
161	5	726 RT 206	9.39	HEFTER ANDOVER REALTY
161	5.01	720 RT 206 SO	4.46	LEIFKEN ANDOVER REALTY, LLC
161	5.02	714 RT 206	5.54	FISCHER & SON SAWMILLS
161	6	710 RT 206	1.43	WOLOSKY, JESSE
1	5.03	OFF RT 206	47.34	ANDOVER 206 REALTY, LLC